

CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2019-00364 DATE: 25 July 2019

ADDRESS OF PROPERTY: 1822 Wickford Place, Lot 2

HISTORIC DISTRICT: Wilmore TAX PARCEL NUMBER: 11907748

OWNERS/APPLICANTS: RCMD, LLC/Craig Calcasola

DETAILS OF APPROVED PROJECT: The project is the construction of a new single-family house. The front setback will match that of the previous structure on lot 1. Total height is +/- 23'-11 ½" from grade. Materials include 8" wood German lap siding with 5 ½" wide wood or smooth Miratec corner boards to sit ¼" proud of the siding, smooth Miratec porch columns, wood or smooth Miratec front fascia/barge rafter, unpainted brick foundation and architectural asphalt shingles. Any trim not spelled out to be Miratec shall be wood. Roof overhangs are to extend 24" at a right angle to the siding with open rafter tails and exposed ¾" thick tongue and groove v-notch between the rafters and 7 ¾" barge rafters with bed mold base. Windows will be wood, Simulated True Divided Light (STDL) with no brick casing, 4" wide non- tapered trim with 7/8" putty glaze. On site trees will be saved/added/removed according to the attached tree plan. The existing 24" Sycamore tree at the front of the lot will be protected as outlined in the attached Arborguard Tree Specialists letter. New trees will grow to be mature canopy trees and will be planted per the city's approved tree list. This COA does not include approval of final lighting, door and handrail details, the applicant is required to finalize these items with staff prior to installation. This COA and any handwritten notes in red on the attached plans take precedence. See attached plans.

The project was approved by the HDC July 10, 2019.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

James Haden, Chairman

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org



3121	ES	EXTERIOR SPANS	INTERIOR SPANS	JACK STUDS
(2) 2	2x6's	< 2'-0"	< 2'-6"	1
(2) 2	2x8's	2'-0" thru 3'-0"	2'-6" thru 3'-6"	2
(2) 2	2x10's	3'-0" thru 5'-0"	3'-6" thru 6'-6"	2
SEEP	LAN	5'-0"<	6-6*<	SEE PLAN

WALL STUD REQUIREMENTS		
EXTERIOR WALL HIEGHT	STUD SIZE AND SPACING	
H < 10'-0"	2x4 @ 16° o.c.	
10'-0" < H < 11'-0"	2x4 @ 12° o.c.	
10'-0" < H < 11'-0"	2x6 @ 16° o.c.	
H > 18'-0"	CONSULT ENGINEER	

GENERAL PLAN NOTES

- GENERAL PLAN NOTES

 DRAWINGS ARE NOT TO BE SCALED, DIMENSIONS IN QUESTION SHALL BE CLARFIRED BY ARCHITECT.

 ALL EXTERIOR DIMENSIONS ARE SHOWN TO THE OUTSIDE FACE OF STUD, UNLESS NOTED OTHERWISE.

 ALL INTERIOR DIMENSIONS ARE SHOWN TO THE INSIDE FACE OF STUD, UNLESS NOTED OTHERWISE.

 ALL EXTERIOR WALLS ARE ASSUMED TO BE 3-12" WOOD STUDS. (INLESS NOTED OTHERWISE.

 ALL EXTERIOR WALLS ARE ASSUMED TO BE 3-12" WOOD STUDS. (PLUS 1/2" EXTERIOR WALL SHATHING: UNLESS NOTED OTHERWISE.

 ALL CARRIETTY TO BE DESIDED BY OTHERS AND SHALL WEET ALL CABINETS, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS.

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 STEEL BEARS MUST HAVE (8) 24 STUD JACKS UNDER EACH END SUPPORT; UNLESS NOTED OTHERVISE.
 MICRO-LAM BEAMS, SEE SO.1, CONSTRUCTION OTHER THAN ROOFS, NO.S. 7.
 ALL BRICK OVER LOVER ROOFS MUST HAVE NOLE WITH STOPS LOS SCREWS TO STUDS ABOVE AND ACCORDANCE WITH DETAIL.
 ALL WOOD LAIGHTS AND OPEN JOISTS MUST BE RENCED IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS PLUS DETAILS SHOWN ON PLANS.
 ALL RAFTER RENCES RULTS HAVE 2 STUDS FROM PLATE TO FOUNDATION OR BEAM BELOW THEM AT ALL FLOOFS, NO BRACES ON CERLING PLATE
- WITHOUT STUDS DIRECTLY UNDER THEM.
 WHERE PARTITIONS FALL BETWEEN FLOOR TRUSSES, 2*4° LADDERS @ 16°o.c. MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT
 THE PLYWOOD DECKUNG.
- ON ALL OPEN WEB FLOOR TRUSSES OVER A 10' SPAN A MIN. SINGLE LINE OF 2'x4" SHALL BE NAILED TO DIAGONAL MEMBERS OR VERTICAL
- ON ALL OPEN WEB FLOOR TRUSSES OVER A 10' SPAN A MIN, SINGLE LINE OF 2'A' SHALL BE NAILED TO DIAGONAL MEMBERS ON VERTICAL MEMBERS IN THE APPROXIMATE MID-SPAN AS A LOAD DISTRIBUTION MEMBER.
 WHERE CELLING JOISTS ARE PARALLEL TO EXTERIOR WALLS AND RAYTERS BEAR ON STUD WALL TOP PLATE ADMICHING TO CELLING JOISTS.
 RAYTERS AND TOP PLATE TO 2'A PHOS S'E LONS (LININ) ON 6' CENTRES ALONG LENGTH OF CELLING JOISTS.
 ALL 2-STORY OPEN GREAT ROOMS, LIVING ROOMS, WITH 2 OR MORE ADJACENT OPENINGS OF 3' OR LESS MUST USE A 3-1/2'>3-1/2'>1/2' STEEL
 ANGLE VERTICALLY FROM FLOOR TO TOP PLATE LAGGED TO KING S'UDIOS WITH (3' S'2' LAGS Q' 2'A' C.C., VERTICALLY MID LAGGED TO FLOOR AND
 TOP PLATE WITH (1) 3'16'>3' LAG THROUGH A 1'4' PLATE AT THE TOP AND BOTTOM. MULTIPLE OPENINGS WITH 3' OR LESS SPACE BETWEEN
 ROUGH OPENINGS SHALL HAVE AT LESST (1) STEEL ANGLE VERTICALLY IN EACH MULLION SPACE. THE SHEATHING ON THIS STEEL REINFORCED
 PARTITION SHALL BE 12' PLYWOOD, NO OTHER SHEATHING SHALL BE PERMITTED.

	PARTITION SHALL BE 1/2* PLYWOOD, NO OTHER SHEATHING SHALL BE PERMITTED.
ST	AIRWAYS
1.	TREADS SHALL BE 9" DEEP PLUS A 1" NOSING
2.	RISERS SHALL BE FIELD VERIFIED (NOT TO EXCEED 8-1/4")
3.	STAIR SHALL BE 35" WIDE CLEAR MINIMUM AND SHALL HAVE A HANDRAIL AT A HEIGHT ABOVE THE NOSING OF 34"-38".
	GUARD RAIL HEIGHT SHALL BE A MINIMUM OF 36" IN HEIGHT PER R312.1.2
	REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM WALKING SURFACE TO GUARD RAIL HEIGHT THAT ALLOW PASSAGE OF A 4" SPHERE.
6.	GUARDS ON OPEN SIDES OF STAIRS SHALL NOT HAVE OPENINGS ALLOWING PASSAGE OF A 4-3/8" SPHERE
7.	TRIANGLE FORMED BY RISER, TREAD AND BOTTOM GUARD RAIL SHALLL NOT ALLOW PASSAGE OF A 6* SPHERE.





APPROVED AS NOTED



Residential Plan Review Disclaimer Residential Plan Review Disclaimer: A limited plan review for compilance with the NC State Residential Code was performed on these plans. It is the Responsibility Of The Contractor to construct this project using good engineering practice and in full compilance with the North Carolina Residential Code, local codingness and State requisitions.

PROJECT # 397421

APPROVED AS NOTED

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WILLM (CHARLOTTE

WILMOREOS

NOVEMBER 21, 216

MSB

REVISIONS:

DATE:

COMPUTER REFERENCE NUMBER
WILMOREO201 .125
SHEET NO.

A1.0

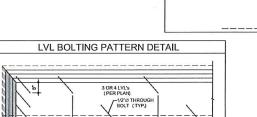
STRUCTION

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UNDER A LIMITED REVIEW FOR OMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY OR FEDERAL LAWS

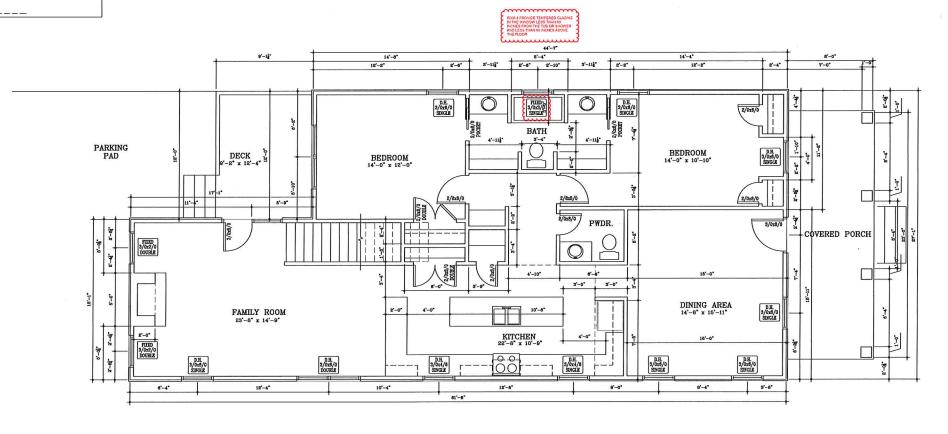
PLANS REVIEWED BY:

DANIEL T NEBUS II



1'-0"

1'-0"



MAIN LEVEL HEATED SQUARE FOOT RED FRONT PORCH UPPER LEVEL 575 SQ. FT TOTAL HEATED SQUARE FOOT UNHEATED SQUARE FOO 2,062 SQ, FT, 297 SQ, FT,

PERMIT APPLICATION / HEATED IS 2062 SF FOR FIRST & SECOND FLOOR / UNHEATED IS 185 SF FRONT PORCH / DECK 112 SF

> 101 LOWER LEVEL PLAN A1.0

1/4" = 1'-0"

	MPSON STRONG TIE CO., INC.
MEMBERS	HANGER
2x8	LUS28
2×10	LUS210
2x12	LUS210
(2) 2x8	HUS28-2
(2) 2x10	HUS210-2
(Z) 2x12	HUS212-2
(3) 2x8	LUS28-3
(3) 2x10	LUS210-3
(3) 2x12	HU212-3 MIN.
(2) 1-3/4'x9-1/4' LVL	HGUS410
(2) 1-3/4"x9-1/2" LVL	HGUS410
(2) 1-3/4*x11-1/4* LVL	HGUS412
(2) 1-3/4"x11-7/8" LVL	HGUS412
(2) 1-3/4"x14" LVL	HGUS414
(2) 1-3/4"x16" LVL	HGUS414
(2) 1-3/4*x18* LVL	HGUS414
(3) 1-3/4"x9-1/4" LVL	HGUS5,50/10
(3) 1-3/4*x9-1/2* LVL	HGUS5.50/10
(3) 1-3/4"x11-1/4" LVL	HGUS5.50/12
(3) 1-3/4"x11-7/8" LVL	HGUS5.50/12
(3) 1-3/4"x14" LVL	HGUS5.50/14
(3) 1-3/4"x16" LVL	HGUS5,50/14
(3) 1-3/4"x18" LVL	HGUS5.50/14
(4) 1-3/4"x9-1/4" LVL	HGUS7.25/10
(4) 1-3/4"x9-1/2" LVL	HGUS7.25/10
(4) 1-3/4 x11-1/4 LVL	HGUS7,25/12
(4) 1-3/4"x11-7/8" LVL	HGUS7.25/12
(4) 1-3/4"x14" LVL	HGUS7,25/14
(4) 1-3/4 x 16" LVL	HGUS7.25/14
(4) 1-3/4"x18" LVL	HGUS7.25/14

SI	ZES	EXTERIOR SPANS	INTERIOR SPANS	JACK STUDS
(2)	2x6's	< 2'-0"	< 2'-6"	1
(2)	2x8's	2'-0" thru 3'-0"	2'-6" thru 3'-6"	2
(2)	2x10's	3'-0" thru 5'-0"	3'-6" thru 6'-6"	2
SEE	PLAN	5'-0"<	6'-6'<	SEE PLAN
		-		_

EXTERIOR WALL HIEGHT	STUD SIZE AND SPACING	
H < 10'-0"	2x4 @ 16° o.c.	
10'-0" < H < 11'-0"	2x4 @ 12° o.c.	
10'-0" < H < 11'-0"	2x6 @ 16° o.c.	
H > 18'-0"	CONSULT ENGINEER	

GENERAL PLAN NOTES

- DRAWINGS ARE NOT TO BE SCALED; DIMENSIONS IN QUESTION SHALL BE CLARFIFIED BY ARCHITECT.
- DAVININGS ARE NOT USE SOURCE, DIMENSIONS IN OBSERVATION SHALL BE LEVER OF THE DAVIN OF THE OTHERWISE.

 ALL EXTERIOR DIMENSIONS ARE SHOWN TO THE OUTSIDE FACE OF STUD, UNLESS NOTED OTHERWISE.

 ALL INTERIOR BULLS ARE ASSUMED TO BE 3-12" WOOD STUDS: UNLESS NOTED OTHERWISE.

 ALL EXTERIOR WALLS ARE ASSUMED TO BE 3-12" WOOD STUDS: UNLESS NOTED OTHERWISE.

 ALL EXTERIOR WALLS ARE ASSUMED TO BE 3-12" WOOD STUDS: UNLESS NOTED OTHERWISE.

- 5. ALL EXTERIOR WALLS ARE ASSUMED TO BE 3-12" WOOD STUDS (PLUS 12" EXTERIOR WALL SHEATHING); UNLESS NOTED OTHERWISE.
 6. ALL DOORS TO BE CENTERED, UNLESS NOTED OTHERWISE.
 7. PROVIDE WOOD BLOCKING IN WALLS FOR MOUNTING OF ALL CABINETS, TO JUSTED ACCESSORIES AND OTHER WALL MOUNTED ITEMS.
 8. ALL CABINETY TO BE DESIGNED BY OTHERS AND SHALL MEET ALL APPLICABLE ACCESSIBILITY CODES (IF REQUIRED).
 9. ALL FIRISH AND COLOR SELECTIONS TO BE APPROVED BY ARCHITECTIC.C.
 10. NUMBER OF DETRIFICING THE DESTRIPE OF A TOLOR THERE 4 OR MORE ARE REQUIRED A HANDRAIL WILL ALSO BE REQUIRED,
 11. PROVIDE TERMITE CHEMICAL AT FOUNDATION, AS REQUIRED.
 12. MINIMUM 22-12" (m) x 5-41" (2") ATTE ACCESS DOOR MY PULL DOWN LADDER TO BE DETERMINED ON SITE AND WEATHERSTRIPPED AND INSULATED WITH MIN. R-5.
 13. HAVE RETURN (S) TO BE DETERMINED ON SITE.
 14. ALL COLMITERIORS TO BE 35" AFF. JUALESS NOTED OTHERWISE.
 15. ALL DOOR HEIGHTS ARE SHOWN ON PLANS.

- VANAMED CONSTRUCTION OTHER THAN ROOF
 STEEL BEAMS NUST HAVE (8) ZA STUD JACKS UNDER EACH END SUPPORT; UNLESS NOTED OTHERWISE.

 MICROLAMB BEAMS, SEE SOL, CONSTRUCTION OTHER THAN ROOFS, ROS. 7

 ALL BRICK OYER LOYER ROOFS NUST HAVE ANGLE WITH STOPS LAG SCREYS TO STUDS ABOVE AND ACCORDANCE WITH DETAIL.

 ALL WOOD JOINST AND OPEN JOIST NUST ER BRACES IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS PLUS DETAILS SHOWN ON PLANS.

 ALL WOOD JOINST HAVE 2 STUDS FROM PLATE TO FOUNDATION OR BEAM BELOW THEM AT ALL FLOORS. NO BRACES ON CERLING PLATE
 WITHOUT STUDG DIRECTIV LINGER THEM.

 WHERE PARTITIONS FALL BETWEEN FLOOR TRUSSES, 234" LADDERS @ 16"Oc., MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT

 THE PLYWOOD DECRUIC.

- THE FLYWOOD DECANIG.

 ON ALL OPEN WEB FLOOR TRUSSES OVER A 10 SPAN A MIN. SINCLE LINE OF 224 "SHALL BE NAILED TO DIAGONAL MEMBERS OR VERTICAL

 MEMBERS IN THE APPROXIMATE MID-SPAN AS A LOAD DISTRIBUTION IMMEMBER.

 WHERE CELINIC JOSTS ARE PRAVILLE TO EXTENDED WALLS AND RAFTERS BEAR ON STUD WALL TOP PLATE ADJACENT TO CERLING JOISTS, BRACE

 RAFTERS AND TOP PLATE TO 26 HOGS 5' LONG (IMIN) ON 6' CENTERS ALONG LENGTH OF CELING JOISTS.

 ALL 25 TORY OPPOR REAT ROOKS, LINKIN ROOMS, WITH 2 OR MORE ADJACENT OPENINGS OF 3' OR LESS MUST USE A 3-1/2'>
 12'-1/2'X12' STEEL

 ANGLE VERTICALLY FROM FLOOK TO TOP PLATE LAGGED TO KING STUDS WITH (3) 6'-3' LOSS (8) 2'A'G. VERTICALLY AND LAGGED TO FLOOR AND

 TOP PLATE WITH (1) 3' INS'3' LOG THROUGS A 19' PLATE AT THE TOP AND BOTTOM, MULTIPLE OPENINGS WITH 3' OR KINESS SPACE BETWEEN

 ROUGH OPENINGS SHALL HAVE AT LEAST (1) STEEL ANGLE VERTICALLY IN EACH MULLION SPACE. THE SHEATHING ON THIS STEEL REINFORCED

 ROUGH OPENINGS SHALL HAVE AT LEAST (1) STEEL ANGLE VERTICALLY BECKNITH SO THE SHEATHING ON THIS STEEL REINFORCED

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- ARKWA'S
 TREADS SHALL BE 9' DEEP PLUS A 1" NOSING
 RISERS SHALL BE FIELD VERIFIED (HOTTO EXCEED B-1/4)
 STAR SHALL BE 5" WIDG CLEAR NINIMUM AND SALL HAVE A HANDRAIL AT A HEIGHT ABOVE THE NOSING OF 34"-36",
 GUARD RAIL, HEIGHT SHALL BE A NINIMUM OF 36" IN HEIGHT PER R312.1.2.C. ET O GUARD RAIL HEIGHT THAT ALLOW PASSAGE OF A 4" SPHERE.
 GUENDED GUARDOS SHALL NOT HAVE O'DERINGS FROM WALDINGS SOVER OF A 6-4-36" STHERE
 GUENDED GUARD SHALL NOT HAVE O'DERINGS FROM WALDINGS SOVER OR PASSAGE OF A 6-4-36" STHERE.
 TRANSLE FORMED BY RISER, TREAD AND BOTTOM GUARD RAIL SHALLL NOT ALLOW PASSAGE OF A 6" SPHERE.

EGRESS WINDOW REQUIREMENTS

NCRC 310.2.1
THE MIN, NET CLEAR
OPENING HEIGHT DIMENSION
SHALL BE 22". THE MIN.
NET CLEAR OPENING WIDTH
DIMENSION SHALL BE 20".
THE NET CLEAR OPENABLE
AREA SHALL NOT BE LESS
THAN 4 SO. FT.



UPPER LEVEL TOTAL

MAIN LEVEL

HEATED SQUARE FOOT DECK COVERED FRONT PORCH

1,487 SQ. FT. 112 SQ. FT. 185 SQ. FT.

575 SQ. FT

2,062 SQ. FT. 297 SQ. FT.



Residential Plan Review Disclaims Residential Plan Review Disclaimes A limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the Responsibility Of The Contractor to construct this project

using good engineering practice and in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.

UNDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS

PROJECT

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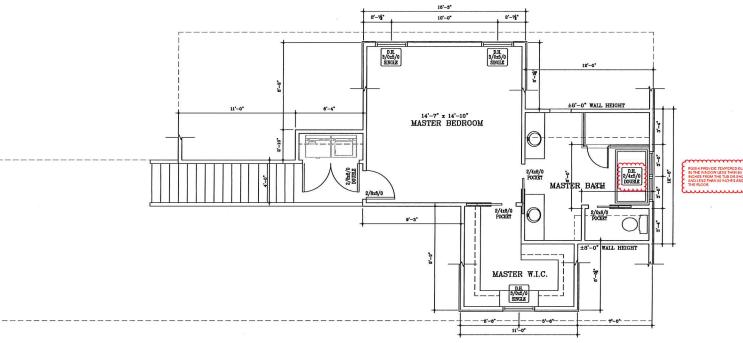
PLANS REVIEWED BY:

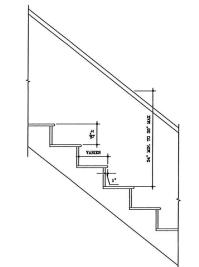
DANIEL T NEBUS II

VDDBOARD H Charlotte Historic District Commission

Certificate of Appropriateness

Hocema-2019-00364 5,-14. 10'-0" D.H. 3/0x5/0 SINGLE





102 TYP. STAIR DTL.3/4" = 1'-0"

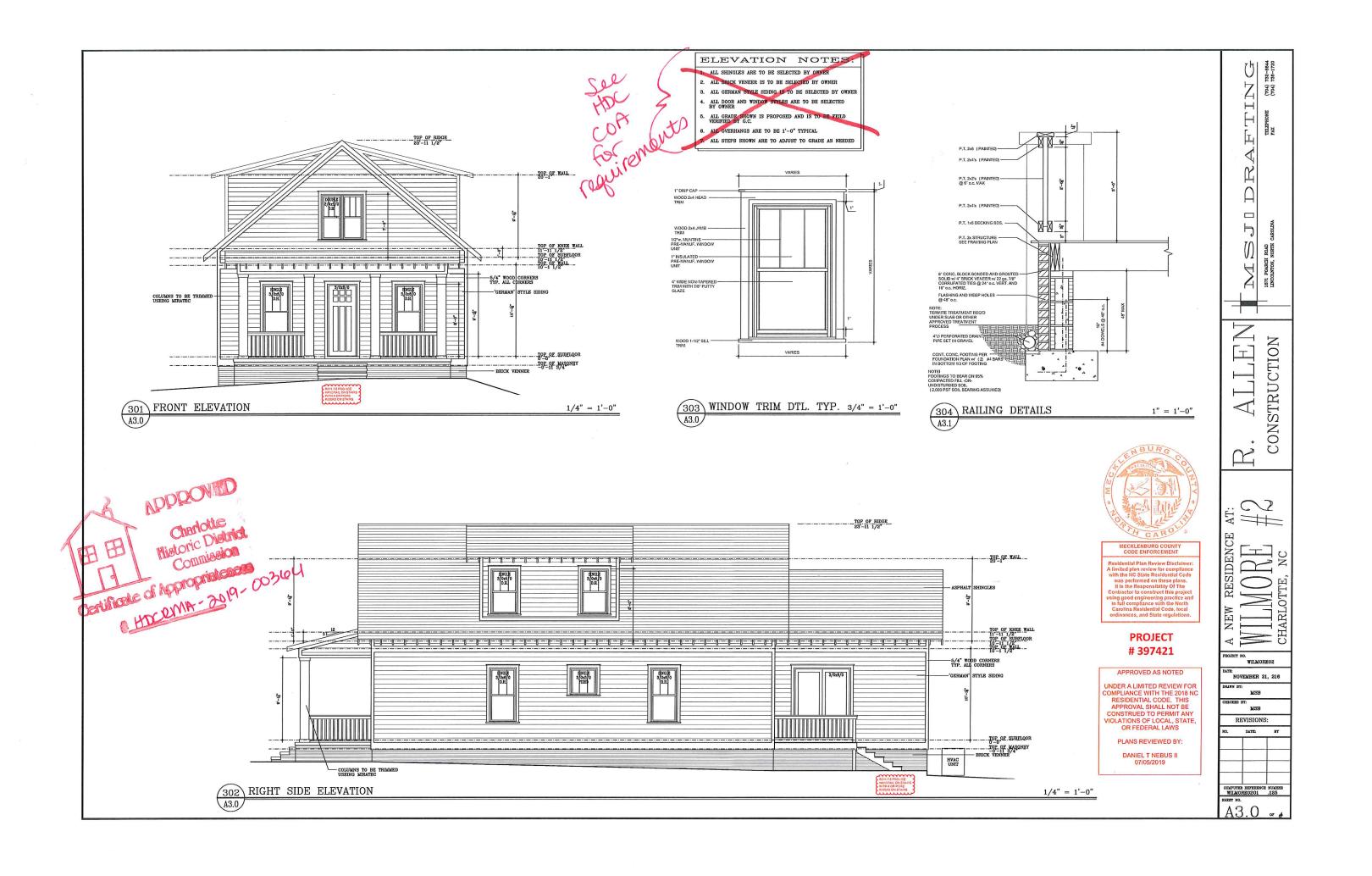
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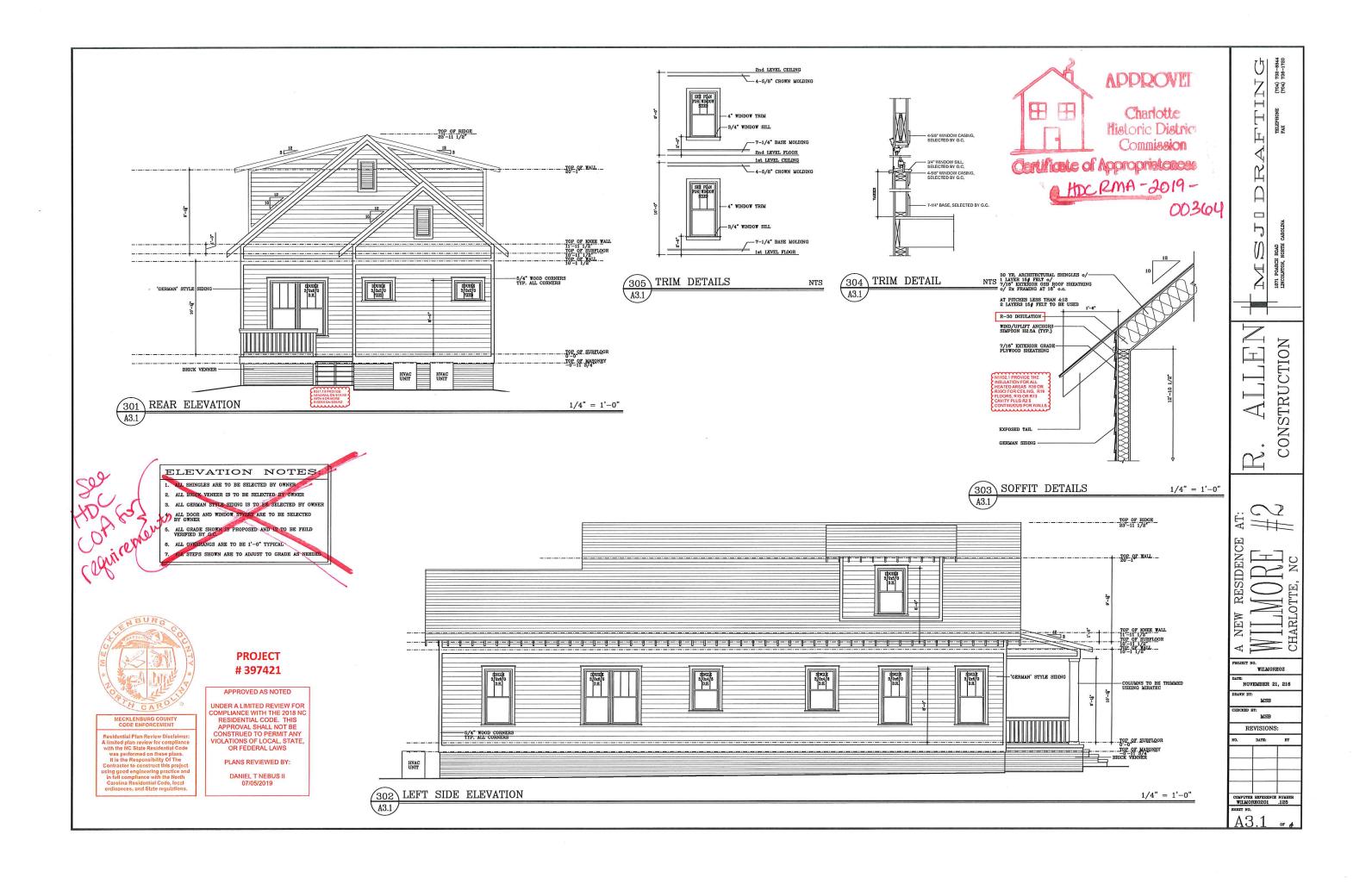
101 UPPER LEVEL PLAN

A1.1

1/4" = 1'-0"

COMPUTER REFERENCE NUMBER WILMOREO201 .125





RESIDENTIAL STANDARD NOTES

- Design loads are all dead loads plus:
 Design rooms (d) Aftic floor live loading with the following:
 (i) Area accessible by stairs:
 (ii) Roof slopes \(^3.12\)
 (iii) Roof slopes \(^3.12\)
- ii) Boof slopes 2012 20 PSF

 iii) Boof slopes 2012 10 PSF

 e) Roof five load 20 PSF

 1) Wind Load 20 PSF

 Blow load: 150 PSF, or as regid by code

 g) Since load: 20 PSF, or as regid by code

 20 PSF, or as regid by code

 21 All designs are in accordance with North Carolina Building Code. 2018 Edition and the International Residential Code Refer to the relevant Code for any additional information not covered in these
- notes or designs

 Engineering design is for structural information only. The Engineer of Record does not accept

 Engineering design is for structural information only. The Engineer of Record does not accept

 responsibility for dimension errors, architectural errors, detailing of waterproofing, plumbing,
 electrical, or mechanical information or any part of the plan not relevant to structural information.

RESIDENTIAL FOUNDATIONS.

- til continuous sall footings are 9/x10° for one and two story housest. Pootings for three story halfs shall be 1/x/4° unless otherwise noted otherwise. Reinforcing is to be as noted on plans continue son oracinal soil do not used rebar. Rebar is required on our composed fill regardless
- walls shall be 16.35 and 16.55 and 1
- O Factions for 87 x 165 piers are 245x365x107 unless noted otherwise. Reinforcing is to be as noted

- Footings for 8° x 10° piers are 84°x30°x10° unless noted otherwise. Reinforcing is to be us noted on plans.
 Interior thickened slab feetings which occur in basements and 'slab on grade' floors are 10° deep by 16° wide w'c 2° de reinforcing bors running continuously unless noted otherwise. Thickened feetings are required under all bearing walk.
 Mir clost spices shall be a minimum of 2°° by punkes otherwise noted otherwise. Thickened feetings are required under all bearing walk.
 Shallow foundations are designed for an assumed soil bearing capacity of 2,000 pd. The contractor is responsible for notifying the Engineer of Secord if any voils are found to be unsuitable for this bearing capacity. These contractor is responsible for obtaining soil testing to ensure that the bearing capacity of the soil necks or excrets thus value. All fill is to be compacted to 95° density as measured by the Standard Pioctor feet (ASIM D-898).
 All soils and fill under floors and/or within or under buildings shall have preconstruction soil treatment for protection against termites. Certification of Compliance shall be issued to the Building Department by a licenset pest control company.
 All looting exacuations shall be next stroight and level in the proper elevations to receive the concrete. Excessive variations in the dimensions of footings or slobs will not be permitted. Reinforcing steel and much shall be accurately placed and supported to maintain their position shring the concrete pouring. Edge forms shall be used for concrete that will be a special in the contractor. Penetrations interfering with reinforcing shall be upproved by the Engineer of Recent prior to the placement of concrete.
 Excessive controlled in the soil of contractor.
 Elevations differences between the bottoms of adjacent footings shall be less than their horizontal abstance less one foot. Differential hights between the observation can be seen that their indicat

CRECIAL FOUNDATION CONCIDERATIONS

- strength.

 Cuisson foundations shall be a minimum of 12 diameter drilled unreinforced concrete caissons caissons shall extend to a minimum depth previding 2 penetrations into good original ground. Depth of utiling ic limited to 15. Therefore, no peop material more than 17 deep or sith sater in drilled caisson hole. A caisson cannot be used if water rises immediately into a drilled hole plies will have to be used in such cases.

 Treated wood piles with a minimum diameter of 5° and a minimum design load of six tons are used for all homotomous atth momentable soil deeper than 13° or with sater in drilled raisson holes. Drive per North Carolina Code.
- holes. Brive per North Carolina or Touth Carolina Code.

 Sizes and reinforcing for plotting copy over cursours or piles shall be as shown on plans. Chimner footings are to be 12° larger than the chimner footings are to be 12° larger than the chimner footing are to be 12° larger than the chimner footing that the constructed of the cons

- follows:

 A For earth fill up to maximum height of 1', Use 6' CMU or 6' Brick with Bitathene membrane saterproofing on exterior. Poolings are to be 8'x18' or 8'x24' for noted on the plan and projection 18' above footings. The x24' footing with 44 at 18' dowels broked in footing and projecting 18' above footings. The 12' CMU walls with 4' at 18' vertical base located 1' from non dirt fill face, by all optices 17' and use 10' of will horizontal reinforcing even 0' in CMU plants. Install 1' 2' 1, box with 21' logs on cover other point horizontally at all corners, i.e. 35 course bare at 10' 0' Cvertically Fill all open cells of CMU with either Type 2' or M morter or fill with 3'000 psi concrete. Install waterpool
- the wing entage types of w mortar or in win 2000 ps (concrete install waterproof libitation membrane or regad, basenord walls may be constructed in accordance with RIOLI of the Code (lineves 37.347.73 corner bars shall be installed at 10°00, vertically regardless of the wall helph: ERECT ALL FRANKO REFORE BACKFLIAMO.

 Techning value without framing set special design disability.

FRAMING CONSTRUCTION - OTHER THAN ROOF

- 1) See Table (802.31) of the Code for a fastener schedule for structural members.
 2) Wood beans shall be supported by notal largers of adequate capacity where fraunce into beans or ledges. The allowable load expacitly of the longer shall be equal or greater than the load specified on the plan. Where no load is specified, the "lightest" available hanger for the application.
- is acceptable.

 Crawl girlers and band with 4° curtain wall and pur construction shall be 2 2x10 Fouthern Pine of nintes moted otherwise. Maximum clear spans are to be 4° 0° (0° 0° 0° spacing of picts). To avoid objectionable cracking in finished hardwood floors over any girders, use the following
- 1 states and band with a further will also per constitution system in 2 2200 outliers. The action objectionable exacting in finished hardword floors over any girders, use the following possibilities.

 A Notice

 a) All floor joelse must be tee maided to their support guiders with a minimum of 3 50 mailer and a cash and. Larger mails will spit and remote the for mail inflictive. No and mailing through the girder or bend is permitted.

 b) If dropped siders are used, end lap all joists and side nail each with a minimum of 3 16d nails at each end of the each joist.

 c) Noil multiple member bould up girders with two cows of 10d nails stoggred at 32° OC. 2° down from the top and 2° up from the bottom with 3 16d nails at each end of each piece in the joist through the members making up the multiple member girder.

 b) His nathing pattern will ensure a third from the outside of the house to outside set that when the froming 4-mine domain the first lacting should be spaced 2° apart and mail to the surface of the following decreases that when the froming 4-mine domain the first lacting should be surfaced and of each piece in the joist through the members making up the multiple member girder.

 b) His nathing pattern will ensure a third from the outside of the house to outside set that when the froming 4-mine domain the first heading out the quite of the strinkage will accumulate over the girders and an objectionable crock will develop in the finished hardwood floor over the girder line.

 b) All off girders where the joists change direction install bridging at 6° OC for a minimum of six joist spacings become any joist direction change. This will resource strinkage distribution over the floor and not let if accumulate at the girder.

 C) There must be wood blocking thru bolled to the steel beam with joists toe nailed or attached to the heam with metal hangers under any hardwood floors that pass over a steel beam emporting floor josts. This condition often exists our bosement areas.

 All other lumber may be Square s 2° unlies n

- masonry:

 (I) All brack vencer over lower reads (brick climbs) must have a structural angle log serewed to an adjacent stud wall in accordance with detail, with steel brick steps to prevent sliding of brick;

 (I) All rafter braces must have two study from plate through all flows to the foundation or supporting beam below. No braces shall be attached to top wall plate without study directly under them (I) Where portition falls between flow piets or travess. (23) Indices at 16 ° 0°C, must be placed perpendicular to the joist to support the playwood decking. The ladders shall be supported with number of 2°C (lips or saudor device).

GENERAL NOTES

- 1 Intest noted outcomes on pairs, on exercise as solubous;

 1) Walks 10° to 12° high Bolloon frame 2 x 1 study at 12° o c with ½° 05B sheathing and 3 king study on each spine paired securely to the freeder.

 10 Walks 12° to 20° high: Balloon frame 2 x 6 study at 10° o/c (½° 05B sheathing required for wall heights > 17°). Provide 2 1° W x 5° ½° 10L king study on each side of openings 3° to 6° vide and 2° 2 x 6 king study for openings less than 3° vide. Fasten king study securely to all beaders with a minimum of 12° 16d and less of 3° 3° diameter lay screws embedded a minimum of 4° into the brader.

 2) Polite and stalks or money with conflect eithin joists.

 Balloon frame wall and provide triple
- C) Cuble end walls or rooms with voulted ceiling joists. Bullion frame wall and provide triple king stud on each side of opinings, mailed secondly to the header.

 1) Two story high foyer walls less than 9' wide: Retend 3 % r 9 4 5 PSI, member with 3 2 x 4 flat plates across the entire wall. Locate the beam near mid-height of the wall at or near
- MENTIONED.

 1) Continuous 266 bridging shall be noised to diagonal or vertical web members of all open web floors trusses over 10° long. They shall be metalled near mid span as a load distribution member. If the 285 bridging is not continuous, lap ends of bridging one tross space.

 15) Lower stud walls for building over two stories, but not more than three stories:
- 5) Lower stud walls for building over two stories, but not more than three stories;

 (1) Interior walls:

 (2) Lower stud walls for building over two stories, but not more than three stories;

 (3) Interior walls:

 (4) Lower stud stories;

 (5) Roy load bearing;

 (6) As 2 12 0 C.

 (7) Exterior walls:

 (8) Exterior walls:

 (9) Exterior walls:

 (1) Interior and externo

 (2) Spons up to 2 C.

 (3) Spons up to 2 C.

 (4) S.

 (5) Spons from 3 6 6 8 S.

 (6) Spons from 3 6 6 8 S.

 (7) Exterior walls:

 (8) Royal walls for a more of the plane.

 (9) Royal walls for a stories of the plane.

 (10) Royal walls for a more of the plane.

 (11) Royal walls with those 5 C. shall laws a minimum of three (2) king study at each end unless noted otherwise.
- noted otherwise. When the model of the model of the relative mean the top plate to ceiling joists with a 2×6 strong back a minimum of 6° 0° long at 4 feet on center across the top of the ceiling joists 2×4 rafter lies shall be fastened to the side of the rafter and the strong
- barek.

 At all exterior diagonal wall panels, each panel shall be mailed to each adjacent panel with 5 lod mails or tied together with metal stripping mailed at four locations between Boors with a minimum of 2 lefa male into each panel at each strap the strap that of the strap is the panel of the panel

- 16d nails. This will avoid cracking between willboard and top of base undamined of socialistic of stair stringers.

 20) Earl traces that have now braining partitions passing under them should be usiled to the partition plates to avoid celling wall cracking.

 21) Boof traces that have now braining partitions passing under them should be usiled to the partition plates to avoid celling wall cracking and used as dead wood for sheetrock boards should be united to the wall froming to piecent celling wall cracking.

 22) All structural framing fumber exposed directly to the weather or bearing directly on exterior massonsy piece or concrete shall be treated. All wood in contact with the ground is to be ground contact approach. All sood exposed directly to the wather shall be protected to prevent the occurrence of rot.

 23) Indeed otherwise detailed all shirt hour states and contact with the ground in the protected to prevent the occurrence of rot.
- OCCUPIENCE OF TOL.

 2) Inless offersise detailed all stick built "Joise chimneys" shall be constructed with 2 x 4 studs at 12° o'e, balloon framed from attle ceiling or floor. Fasten 15/32° CDX plywood on all sides of the chimnex atong the full length of the study of the chimnex atong the full length of the study of the supporting beam or ceiling joist with a 1 ½ x 21° 18 gauge notal strap, or a similar connector.

 2) Hern unchanged, but moved from under [14° on old Fage 2.

 3) All, POINT LOADS FROM ROOF BRACKS, JACK STUDS, BRAM STEPPORTS WHITHER WOOD OR STEEL, CHANGE IREAD OR SHEATHING MAKE BLOCKING EQU'N, OOR RETER THAN THE FOUNDATION.

 2) Note to nowly to all bond end storm of the finishers.
- 25) Note to apply to all hard coat stacco exterior finishes:
 4) Joints are necessary at the following locations:
 a) Horizontally at each Hour fine
 b) No areas larger than 144 37 surface exposed.

- Application of an approved themical curing compound.

 The enting shall continue until the cumulative number or days the ambient temperature :
 OUP has tolated seven buring enting the concete shall be protected from any mechainjurs, load-stresses, shorts, wheatlons or damage to finished surface.

- 1) All roof trusses must be built in accordance with truss manufacturers' requirements. The down connections to resid upill shall be installed where required. When roof truss manufacturers do not provide the required connectors, it is the responsibility of the contractor to which the roof truss ranginger or the fraginer of frecord to provide an adequate connector.
 2 In addition to the Code's fastener schedule, unless noted otherwise on the plan, roof members shall be tied down with additional metal connectors as follows:
 3) Stuck framed roffer members exceeding 10° in length, as measured from their horizontal projection, and all roofs over members which we prefix see Simpson 1126 connectors except 3° or at every third raffer to fasten the lower end of the raffer to the top plate.
 B) All lower ends of valley and inp members which bear on a top plate use a Simpson HCP or equivalent connectors.
- equivalent connector. Builtie's shall be 2×6 at 10° or expince pine for $2 \cdot 1$ for shingles except as noted. But a relative shall be 2×6 at 10° or expince pine for $2 \cdot 1$ for shingles except as noted. But a relative shall use 2×6 at 10° of a space pine for $2 \cdot 1$ for shalles noted otherwise. Collar ties shall be 2×6 at 10° of a space pine for $2 \cdot 1$ for latest unless noted otherwise, collar ties shall be 2×6 at 10° of a tall ridges unless noted otherwise and located a nominal $3 \cdot 1$ below the ridge. Caulted cellings require special collar tie or ridge beam details. See the end of Table Rudge 5.1, of the Code unless of the rudged even if two ties must be put on one set of raffers.

- of a minimum of three countries shall be used at all ringes even in two they must be put of one set of rathers.

 1 All hips and ridges are a size larger than rathers unless noted otherwise. Eafters may be spliced even logs. Splice rather long only at a troof brace minimum of 2 x 6 diagonal braces.

 10 Solite continuing maple well of interior ceiting poles. Encourt to be an of x 6 diagonal braces of the put of thing in public well of interior ceiting poles. Encourt to be an of x 6 diagonal braces of the gable well at approximately und height of gable walls. Forces shall be at an angle of approximately and to the gable wall at approximately und height of gable walls. Forces shall be at an angle of approximately 20. Other bracing may be used with the deepen engineer is approximately 45°. Other bracing the desired in a minimum of 2 x 6 diagonal braces at 6° oye doing the gable wall to interior ceiting joists. Braces to be no 2 x 6 diagonal braces at 6° oye doing the gable wall to interior ceiting joists. Braces shall be at an angle of approximately 45°. Other bracing may be used with the design engineer's approval.

 10 Ceiling joists when cereted parallel to rathers must be sistered to rathers and mailed with 2 find noils at each rather. If a knew sall is used and ceiling joists cannot touch rathers than rather must be tied to the ceiling joists using 2 x 4 or 1 x 6 rather the spaced no more than 4° on ceiting in the ceiling joists using 2 x 4 or 1 x 6 rather the spaced no more than 4° on ceiting in the ceiling joists using 2 x 4 or 1 x 6 rather the spaced no more than 4° on ceiting joists are solved and ceiling joists cannot touch rathers than 10 ceiting joists are solved and ceiling joists cannot touch rathers than 10 ceiting joist cannot touch rathers than 10

- Boof Plan Legand
 Indicates location of roof brace point at rafter level
 O→ Arrow away from the brace point indicates direction of roof brace to partition, beam, or other brace point below
 O→ Arrow into brace point below
 O→ Arrow into brace point below
 All roof braces are 2.4 × 4 miled with 16 prins makes at 2° o/s vertically from top to better miles are point below.
 All roof braces are 2.4 × 4 miled with 16 prins makes at 2° o/s vertically from top to beltom. Braces longer than 10° must be braced horizontally in two directions at mid height.
 Maximum spacing of roof braces is to be as follows:
 For 2 × 6 Bog
 For 2 × 6 Bog
 For 0.6

CONCRETE GENERAL NOTES:

- 11 Except share otherwise noted, for all connecte the proportions of centum, aggregate, and water to album required placticity and compressive strength shall be in accordance with ACI 218 Code Connecte shall be 2500 psi in 20 days for footings and 2,000 psi for walls become, and columns, unless noted otherwise.
 2) Before placing concrete, all debris, water and other deleterious material shall be removed from the places to be occupied by the concrete. The placing of all concrete shall be in accordance with ACI 2181 and ACM COI regularizements Pumping of concrete shill be promitted only sith the Engineer of Record's approval of proposed concrete mix and method of pumping Concrete shall be rapidly handled from the maxer be forms and deposited or nearly as possible to its final position to avoid segregation due to rechnolling. Concrete to be spoated and socked by handled affixed do assure close contact with all surfaces of forms and reinforcing steel and leveled off at proper grade to receive finish. All concrete shall be placed upon clean, damp surfaces.

- Vibration shall be applied directly to the concrete and shall be sufficient to cause flow of settlement but not long enough to cause segregation of the mix.

 3) Construction joints shall be located in accordance with ACL 201. All reinforcing steel shall be continuous across joints. In slabs on grade, saw contraction joints shall not be over 20 feet center to center each way lounts shall be sawn a digith of one third of the slab thickness, Sawing of the joints shall connecte as soon as the concrete has bardened sufficiently to permit awaing without excessive raveling. Fill the saw cuts with approved joint filler after the concrete has cored.
- cured.

 Omicide when deposited, shall have a temperature not below SUF and not above 9UF. The
 methods and recommended practices as described in ACI 30b shall be followed for cold weather
 concreting and ACI 205 for hot weather concreting.

 Firshly placed concrete shall be protected from premature drying by one of the following methods:

- A) Ponding or continuous sprinkling.

 b) Absorptive mat or labora kept continuously wet.

 C) Waterproof appear conforming to ASIM C171

 J) Application of an approved chemical curing compound.

 b) The curing shall continue until the contulative number of days when the ambient temperature show DoT has totaled seven. During curing, the concrete shall be protected from any machinical injury, load stresses, shock, whitalion, in damage to finished surfaces.

 Renducing steel bias shall be detoried in accordance with ASIM V305 and or A108 and formed of V31M A015 78 Gents to Steel. Webted size fabric crinforcing to be 371M A155 steel wire. Accessories shall conform to the C831 Manual of Standard Practice. The following minimum concrete cover shall be provided over reinforcing bars:

 A) Exposed to Weather

 C) States not Exposed to Weather

 W

 1127

MASONRY CENERAL NOTES:

- Masonry walls are to be of the sizes and in the locations shown on the plans and shall be constructed in accordance with the provisions of ACI 500.
 Hollow Load Ecoring Units: ASIM COO made with lightweight or normal acight oggregates. Crade A I mills shall be provided for exterior and foundation walls Grade R I or S I mills shall be
- N 1 miles shall be provided for exterior and foundation walls Grade N 1 or S 1 miles shall be provided for other load bearing sulls or partitions

 3. Concrete Building Brick: STM C55 made with lightweight or normal aggregates, Grade N 1 or 5 1 except that brick exposed to weather shall be N 1.

 4. Mortars ASTM G270-95, Type 7 prepackaged mortar mix which shall not contain any non-contentitions fillers combined with not more than three parts sond per on part mix.

 5. Romforcing Steel ASTM Ac15 Grade 00 steel determed bars where indicated on the plans. Where reinforcing bars are installed in the exits of concrete mossomy units. They shall be seemed with wire lies at intervals not exceeding 25 o'c to maintain the bars location in the exit. The tolerance for specing of vertical bars is 2 inches along the length of the wall. The tolerance for the distance between the face of the concrete masonry unit and the center of the bar shall not exceed. 127

 8. Mortar protrusion shall be less than 157. A protrusion of 127 or greater must be removed before quonting.
- growthy

 7 Horizontal Joint Reinforcement: ASIM 302 forticated from cold drawn steel wire and hot day zinc coated LASIM A193. It shall consist of two or more parallel, longitudinal wires 0.1055 in diameter with weld connected cross wires 0.1483 in diameter at a minimum of 185 o/c. Joint reinforcement is to be installed in every other course and in the first two courses at the bottom and top of wall openings and shall extend not less than 245 past the opening. Tplices shall overlap not less
- than 127.

 Becomion: Maximum units shall be taid in a running band pattern unitest noted otherwise. The walls shall be carried up level and plants within the tolerances specified in ACI 500.1.00. Section 2.3.32. If nonstandard dimensions are encountered block shall be consisted back for joining within the particular and the stepped back for joining within new work. Toothing will not be permitted except where specifically approved. Damaged units are to be cut out and now units set in place.

 The filled cells and bond brain blocks of reinforced maximum walls are to be filled with ATM CATO 117. The outside face of the bottom block of each cell is to be broken out for inspection of reinforcing and clean out of moratin droppings in cell. The grout is to be pumped into the cell in maximum five foot lifts and immediately shraded to minimize any voiding of the grout. Becausoblate each lift by wherting saveral incluse into the preceding lift before plasticity is lost. Becausoblate the top lift and fill with grout any space left by settlement shrudage.

LUMBER CENERAL NOTES:

- Fb (P3b) Ft (P3l) 876 450 750 450 All structural composite lumber (LVL, LSL, FSL) is to meet the following min nber (Lvs. _ Fb (FSI) 2 hDQ APPLICATION Fc (FSI/Parallel) Fc (FSI/Perp) E (FSI) Columns (LSL) & Rimboard I All glue laminated timber (Glu I 1,300 000
- All glue baninated timber (G): APPLICATION Girders & Beonis Colums (L31) & Rimboard Open web Hoor trusses: 1.600 1,550 Top & Bollom Chord
- Top & Bottom (1931) & Bindoard 2.500 1.9E MSR Lumber Column (1931) & Bindoard 9.90 1.4M Lumber 1.4M Lumber 1.50 Fiber that or four ph. "Lum" branes are side loaded (1934s frame into the sade at the endside phesh, Losten all plies together with two rows of Mr diameter botts at the open. The bolds shall be loadered a minimum of 2. Mr and a maximum of 3. Mr from the top or bottom of the brain.

 Beautiful wood columns consisting of multiple study shall have each lamination nailed with led nails at 9° o/c.

STREET GENERAL NOTES:

- 4) All steel wide Hange beams shall conform to ASIM AS72 having a minimum yield stress of 50,000

- All other Stages are become an extended and stellar type with a minimum 3/10° kg. Welding electrodes Shall be E70xx type having a minimum yield strength of 70,000 psi. Welding work and materials shall conform to the American Welding Society Code (AWS DI). Boiled connections shall include high strength holis conforming to 18TM A325. Foundation anchor holis or tie rode shall conform to ATM A38 having a minimum yield strength of 36,000 psi.



UNDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NO

DANIEL T NEBUS II

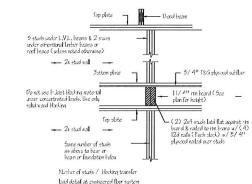
07/05/2019

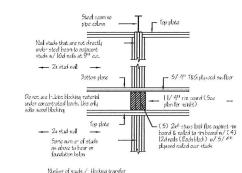
APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY Residential Plan Review Disclaimer: I limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the Responsibility Of The Contractor to construct this project sing good engineering practice and in full compliance with the North VIOLATIONS OF LOCAL STATE PLANS REVIEWED BY:

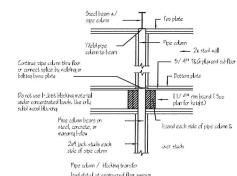
II. Detals 2,6 HOG 248 HOG 2-2,438403

Stucco Code Requirements

- A. Jorts are recessary at the following locations:
- 1) Horizortally at each floor line ID No areas larger than 144 sq.ft, exposed
- II) No discrete lower than 161-011 IV) No dimension shorter than $2\,I/\,2$ times the shortess dimension
- 19. Drip screed required at the bostom of all walls 2" above paired
- C. See ASIM 926 and 1065 for further information.







laso detail as engineeres floor system





Ċ σ. Structures, sring and Design es: 704-332-5460 en: 843-406-7174 elorence: 704-301-99 mialstrucurespo.com



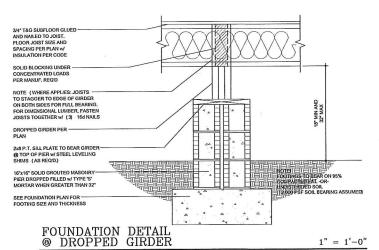


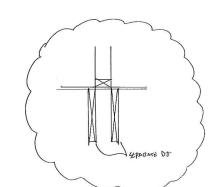


GENERAL NOTES GN1/S1

DATE:







STUDS

3. ALL CONCRETE TO BE 3000 PSI (MN)

4. ALL SOIL TO HAVE 2000 PSF BEARNG CAPACITY (MR)

5. SEE DETAILS FOR FOUNDATION SIZE AND REINFORCING.

6. ALL FOOTINGS TO BEAR MR. 12° BELDW GRADE (TYP.)

2x10 SPF#2 FLOOR JOIST @ 16" o.c. TYP. UNO (SEE PLAN)

(2-2x10 PERIMETER BAND TYP)

DJ - DOUBLE JOIST (TYP BELOW PARALLEL WALLS OF 5FT LENGTH OR GREATER (SEE SEPARATION DETAIL FOR TRADE CLEARANCES)

R408.8 PROVIDE CRAWL SPACE ACCESS MINIMUM SIZE 18 INCHES x 24 INCHES

R408.1.2 PROVIDE FOUNDATION VENTS WITHIN 3 FEET OF EACH CORNER

R408.2 PROVIDE MIN 6 MIL POLY VAPOR BARRIER IN THE CRAWL SPACE



COMPLIANCE WITH THE 2018 NC
RESIDENTIAL CODE. THIS
APPROVAL SHALL NOT BE
CONSTRUED TO PERMIT ANY Residential Plan Review Disclaime
A limited plan review for compilanc
with the NC State Residential Code
was performed on these plans.
It is the Responsibility Of The
Contractor to construct this projec
using good engineering practice an
in full compliance with the North
Carolina Residential Code, local VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS

PLANS REVIEWED BY:

DANIEL T NEBUS II 07/05/2019

PROJECT # 397421

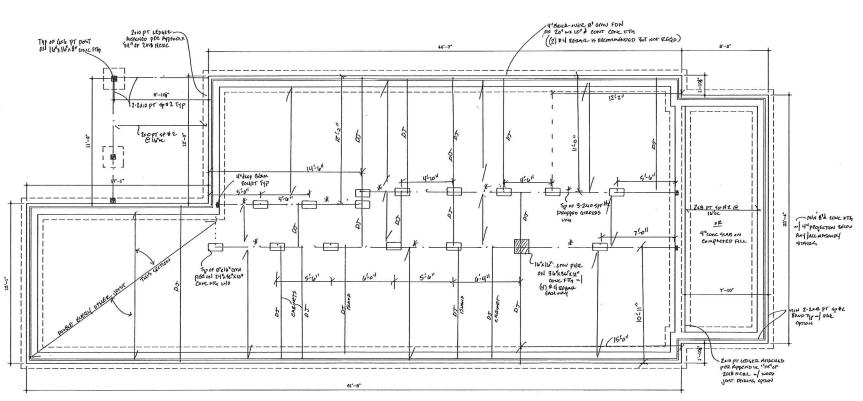
APPROVED AS NOTED

-3/4" T&G SUBFLOORING GLUED AND NAILED TO JOIST, FLOOR PLAN SIZE AND SPACING PER PLAN SEE PLAN FOR JOIST DIRECTION WHERE VOIST RUM PARAULE TO WALL ADD BRIDGING BETWEEN JOIST (48 MIN)

FOUNDATION DETAIL ® TYP. EXTERIOR WALL

1/2" ANCHORS AT 72" OC MAX, WITHIN 12" OF CORNERS/ENDS, A MIN, OF 2 ANCHORS PER PLATE AND ALL WITH A MIN OF 7" EMBEDMENT

1" = 1'-0"



FOUNDATION PLAN

1/4" = 1'-0"



Residential Structures, P.C. Engineering and Design Charlotte: 704-332-5460 Charleston: 843-406-7174 Myrtle Beach/Florence: 704-301-9521



CV2 AT: RESIDENCE CHARLOTTE NEW

REV. DATE DESCRIPTION DESIGNER: PRS SCALE:

S2



Residential Plan Review Disclaime Residential Pian Review Disclaimer: Al limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the Responsibility Of The Contractor to construct this project using good engineering practice and in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.

PROJECT # 397421

APPROVED AS NOTED

UNDER A LIMITED REVIEW FOR ONDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS

PLANS REVIEWED BY:

DANIEL T NEBUS II 07/05/2019



NOTE: THE WALL BRACING FOR THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE INTENT OF THE 2018 NORC.

TYPICAL HANGERS

- ST. FLOOR FRAMMS MOTTS:

 1. ALL DETEROR MALE TO BE SEARDED */ \$"COS ATTACHED TO FRAMMS */ SE MALE A R" OL COE MO 15" OL FELD. PROVIDE ELOCOMO AT ALL PAPAL PLANTS.

 2. ALL IN TOOL LOUD SEARCH WALL HOUSEST DE E-P-CROF LUX.G. */ ()), MOX ALL PROVIDE LOUD SEARCH STATE.

 2. ALL DETEROR WALL REACHES TO MAKE (1) NOW PER TOOT 3 FIRST OF OPDING OF EL US.G.

 4. ADD AND ECTION JOSEPH PAPAL PAPALLEL PARTITIONS OF EL US.G.

 5. CL. ** DOUBLE TO STATE AND MADE TO BROADED THE FIRST FLOOR */ M.

 1. CL. ** ADD AND AND TO STATE AND AND THE FIRST FLOOR */ M.

 7. ALL PERCORS FORMED TO BE FORTILE FRAMED FIRST RETROO TO** SHALL BE N.

 ACCORDINATE MY/DE ROCATION OF THE FIRST PLOOR */ M.

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- I. ALL INDUCES IN THE MODIFIES OF NOTE RENEED WALL BRUSHAY INVALIDATION OF MODIFIES WITH MODIFIES AND ALL SELECTION OF SHALL BE USEARED ON SHIRL BE USEARED ON HOME OF MODIFIES OF MODIFIES AND ALL BE USEARED ON THE FEELD.

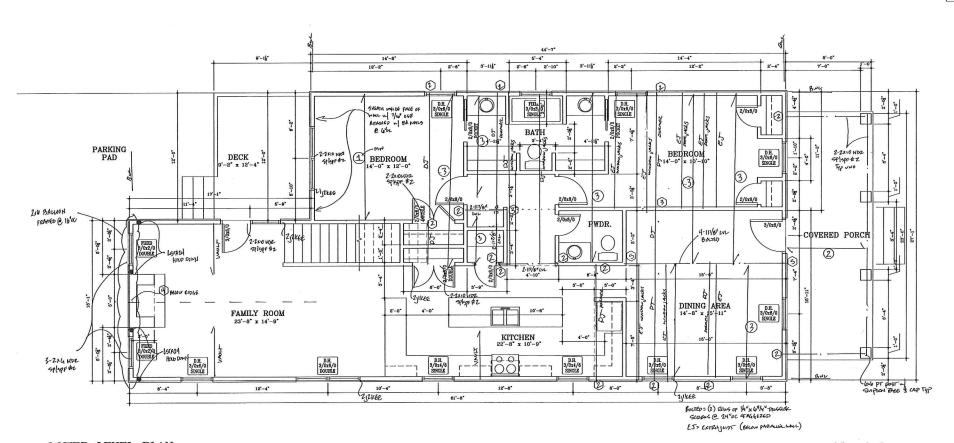
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- MUMBER OF STUDS. STUDS TO BE SAVE SIZE AS ASSOCIATED WALL FRAMING STUDS
- ① 203 (SPF #2) CEILING JOSTS @ 18" O.C. U.H.O. () = 205 (SPF #2) @ 18" ac. U.A.a.
- (3) = 11-7/8" PRI-40 I-JOISTS @ 16" O.C. U.N.O.
 MUITTI SPAN AS SHOWN

WIND BRACING NOTES

- 115 MPH WIND ZONE w/EXP "B"

-THE ENGINEERED BRACED WALL DESIGN MEETS OR EXCEEDS THE INTENT OF THE 2018 NCRC. INSTALL CONTINUOUS 7/16" OSB

4-4	
(3) 2×10	LUSZI
(3) 2x12	LUSZI
(2) 9 / (2) 11 LVL	HOUS
(2) 14" / (2) 16" / (2) 18	* LVL HOUS
(3) 97 LVL	HOUSS 50
(3) 11 LVL	HQUSS.50
(3) 14" / (3) 16" / (3) 16	LVL HQUSS.50
(4) 9# LVL	HQUS7.25
(4) 117 LVL	HQUS7.25
(4) 14" / (4) 16" / (4) 18	LVL HQUS7.25
WALL STUD F	REQUIREMENT
EXT. WALL HT. (b)	STUD SIZE AND SPACIN
h < 10'-0"	2X4 0 16" (0
10'-0" < h < 11'-0"	2x4 0 12" (0
11'-0' < h < 18'-0'	2x5 0 16* (0



LOWER LEVEL PLAN

1/4" = 1'-0"

(Si

P.C.

Residential Structures, P Engineering and Design Charlotte: 704-332-5460 Charleston: 843-406-7174 Myrtle Beach/Florence: 704-301-952 www.residentialstrucurespc.com



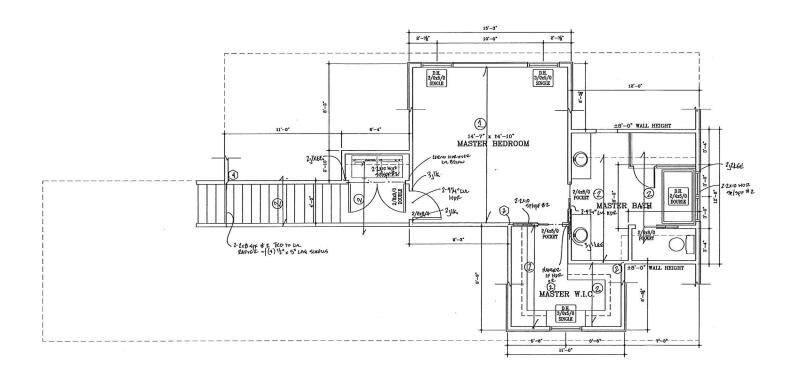
CAT: RESIDENCE MONTH OF THE NC W ILLIVI U

REV. DATE DESIGNER: DESCRIPTION PRS SCALE: DATE:

SHEET:

S3





UPPER LEVEL PLAN

1/4" = 1'-0"

20 FLOOR CELING FRANCE INSTEE:

1. ALL DICTIONS WALLS TO BE SEATHED # | \$'000 ATTACKED TO FRANCE # | 60

THAILS AT \$'000 CELOR (NO IT '000 FRO. PROVINCE RECORNS AT ALL PAYEL

SPLICES.

2. ALL INTEXT, LOUD BEAVEN HEADERS TO BE 2-20% UAGO \$/(0)MOX AT EACH
DO UAGO.

3. ALL DICTIONS HEADERS TO HAVE (1) END FOR EVERY 3 FIET OF OPDING 6

EACH DOC.

4. AT CUP. PRES. CELING JOSTO TO BE NALED TO RAFTERS # /(0)MOX MALE UAGO.

(7) — NAMERY OF STRONG THE SAME THE SEAT AS

* F,FK@E.E. = # of jack studs and # of king studs at each end of header.
 ** 208 (SFF #2) CELING JOSTS 8 18* O.C. U.H.O.

() = 208 (SPF #2) 0 18" QC UHQ



TYPICAL	IAH .	NGERS
NEWSER		HANGE
Zx8		LUS2
ZX10		LUS21
2x12		LUS21
(2) 218		HJS28-
(2) 2×10		HUS210-
(2) 2×12		HUS212-
(3) 218		LUS28-
(3) 2×10		LUS210-
(3) 2x12		LUS210-
(2) 9}" / (2) 11}" LVL		HQJS41
(2) 14" / (2) 16" / (2)	18° LVL	HQUS41
(2) af. FAF		HQUSS:50/1
(3) 11 LVL		HGUSS 50/1
(3) 14" / (3) 16" / (3)	18" LVL	HQUSS.50/1
(4) 11° LVL		HQJ\$7.25/1
		HQU57.25/1
(4) 14" / (4) 16" / (4)	18" LVL	HQJ57.25/1
WALL STUD	REQU	IREMENTS
EXT. WALL HT. (h)	STUD	SIZE AND SPACING
h < 10°-0°		ZX4 0 16" (Q.C.
10'-0" < h < 11'-0"	\top	2X4 0 12" (Q.C.
11'-0" < h < 15'-0"		2x6 0 16" (0.C
h > 18'-0"		CONSULT ENGINEES



PROJECT # 397421

APPROVED AS NOTED

UNDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS

PLANS REVIEWED BY:

DANIEL T NEBUS II 07/05/2019



Residential Structures, P.C. Engineering and Design Charlotte: 704-332-5460 Charleston: 843-406-7174 Mytte Beach/Florence: 704-301-9521 www.residentialstrucurespc.com



AT:

REV. DATE
DESIGNER: DESCRIPTION PRS SCALE: SHEET:

S4





Residential Plan Review Disclaimer: A limited plan review for compliance with the NG State Residential Code was performed on these plans. It is the Responsibility of The Contractor to construct this project using good engineering practice and in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.

ROOF BRACE POINT AND BRACE TO POINT

RIOS.2.7 PROVIDE 2 LAYERS UNDERLAYMENT ON ROOF WITH 2:12 SLOPE UP TO 4:12 SLOPE WHERE ASPHALT SHEADLES ARE USED

R905.2.2 PROVIDE 2 LAYERS UNDERLAYMENT ON ROOF WITH LESS THAN 4:12 PITCH WHERE ASPHAPLT SHINGLES ARE USED

PROJECT # 397421

UNDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS

PLANS REVIEWED BY:

DANIEL T NEBUS II 07/05/2019



iSì

Residential Structures, P Engineering and Design Charlotte: 704-322-5460 Charleston: 843-406-1174 Myrtle Beach/Florence: 704-301-952 www.residentialstrucurespc.com

<u>Р</u>



 \bigcirc AT: # 6 RESIDENCE A NEW RESII

WIII

CHARLOTTE,

٧.	DATE	DESCRIPTION
SIC	SNER:	PRS
AL	E:	
TE:		

SHEET: **S**5

BOSE NOTES

1. ALL ROYSES TO BE 200'S (SPF \$2) B 18" O.C. UALO

2. ALL ROSSES TO BE 200'S (SPF \$2) UALO.

3. ALL ROSSES TO BE 200'S (SPF \$2) UALO.

4. ALL PARTICLE PARTICLE

5. RA - BOATE RATTER

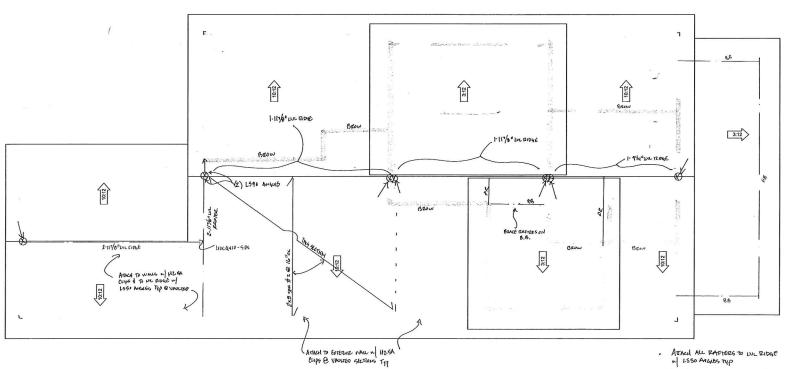
6. RA - RATTER REALE (-2-72)

7. ALL = COMMANDER PARTICLE

5. ALL PARTICLE PARTICLE

5. ALL PA BROW * BRACE ROOF ON WALL

(1) = NUMBER OF STUDS. STUDS TO BE SAME 92E AS
ASSOCIATED WALL PRIMARY STUDS.



ROOF PLAN

ALL PLAFFERS ARE CONTINUOUS FROM
EXTERIOR BEATTING TO LILL BIDGE TYP

1/4" = 1'-0"



397421 ALLEN

APPROVED AS NOTED

FLOOR / UNHEATED IS 185 SF FRONT PORCH / DECK 112 SF // REVISED SQUARE FOOTAGE ON BUILDING PERMIT APPLICATION / HEATED IS 2062 SF FOR FIRST & SECOND

R308.4 PROVIDE TEMPERED GLAZING IN THE WINDOW LESS THAN 60 INCHES FROM THE TUB OR SHOWER AND LESS THAN 60 INCHES ABOVE THE FLOOR //

R311.7.8 PROVIDE HANDRAIL ON STAIRS WITH 4 OR MORE RISERS ON STAIRS //

OR R13 CAVITY PLUS R2.5 CONTINUOUS FOR WALLS // N1102.1 PROVIDE THE INSULATION FOR ALL HEATED AREAS R38 OR R30CI FOR CEILING, R19 FLOORS, R15

R408.8 PROVIDE CRAWL SPACE ACCESS MINIMUM SIZE 18 INCHES \times 24 INCHES //

R408.1.2 PROVIDE FOUNDATION VENTS WITHIN 3 FEET OF EACH CORNER //

R408.2 PROVIDE MIN 6 MIL POLY VAPOR BARRIER IN THE CRAWL SPACE //

SHINGLES ARE USED R905.2.2 PROVIDE 2 LAYERS UNDERLAYMENT ON ROOF WITH LESS THAN 4:12 PITCH WHERE ASPHAPLT

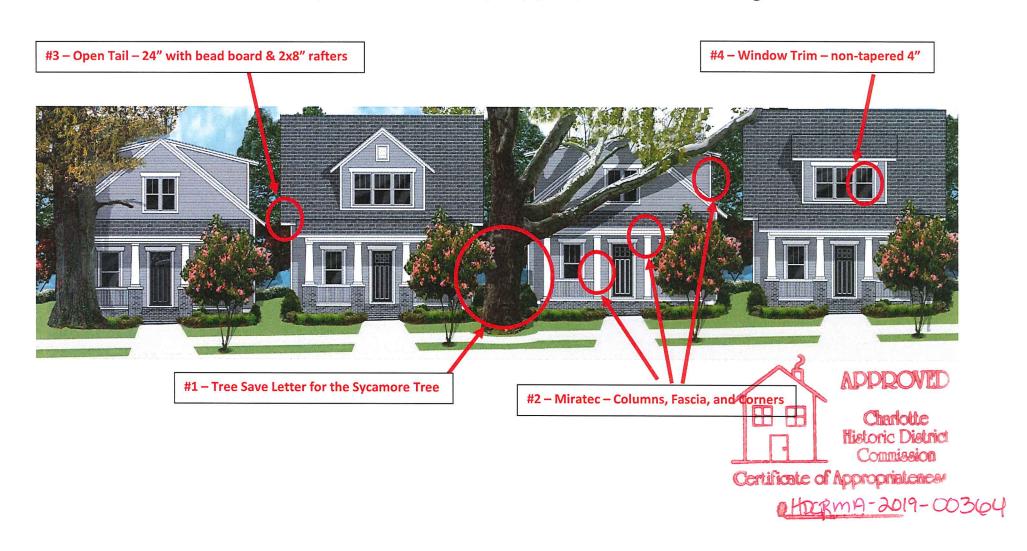
DANIEL NEBUS AT 704 249 6423

V-DANIEL.NEBUS@MECKLENBURGCOUNTYNC.GOV TO DISCUSS ANY REDLINES

1822 Wideford July 2019

UPDATED ITEMS FOR LOT 2

- 1. TREE SAVE attached is a letter from Barry Gemberling (Arborguard) in regard to his recommendations on how to keep the LOT 4 (Willow Oak) tree safe prior and during construction.
- 2. MIRATEC to be installed on all columns, corners and fascia with corner boards being 5.5 inches
- **3. OPEN TAILS / SOFFITS** roof to extend 24 inches at right angle to siding, with ¾ v-groove bead board and 2x8" rafters with bed mold installed base
- 4. WINDOWS 4" wide non-tapered trim with 7/8 putty glaze, removed brick casing



1822 Willford STREETSCAPE - July 2019

UPDATED – LOT 2 added columns from ceiling to floor on the front porch

Charlotte Historic District Connission

APPROVED

LOT 4 LOT 3

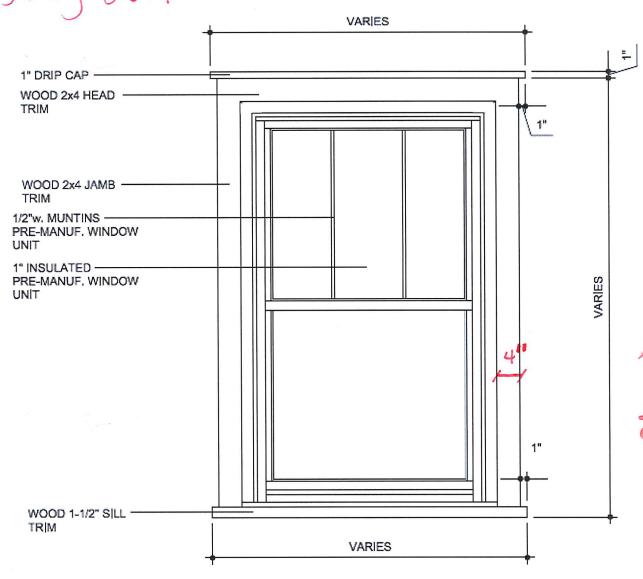


LOT 2

PREVIOUS



1822 Wickford WINDOW DETAIL - UPDATED July 2019



· use casing/trim oppropriate to wood Siding

· 4" wide non-tapered

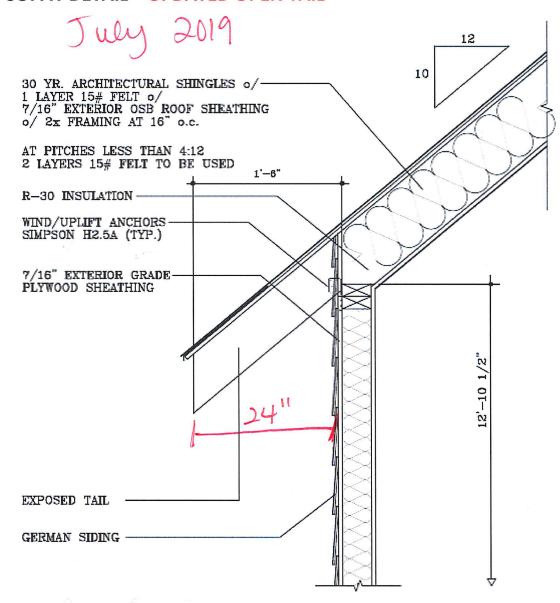
· 7/8" putty 9/02e · double hung wood window · 3-over-1 simulated the divided light



#DCEMA-2019-00364

1822 Wickford

SOFFIT DETAIL - UPDATED OPEN TAIL



- . roof overhang to be 24"-measured at a right angle to siding
 - · 7/4" barge rafters with bed hold base



1822 Wickford APPROVED **PORCH RAILING & COLUMN DETAIL** July 2019 Charlotte Mistoric District Commission Cortificate of Appropriateness MAMATEC PAINTERS—
HDC RMA- 2019- 00364 -P,T, 2x6 (PAINTED) P.T. 2x4's (PAINTED) TV MIRATEC SHEATHING OF P.T. 2x2's (PAINTED) @ 6" o.c. MAX P.T. 2x4's (PAINTED) 104 MIRATEC (PAINTED P.T. 1x6 DECKING BDS. P.T. 2st I PAINTED 8 P.T. 244's (PAINTED) P.T. 2x STRUCTURE SEE FRAMING PLAN P.T. 247% (PAINTED) P.T. 244's (PAINTED) P,T, his deciding nos, * 8" CONC, BLOCK BONDED AND GROUTED P.F. 2x STRUCTURE SEE FRAMING PLAN SOLID w/ 4" BRICK VENEER w/ 22 gs. 7/8" CORRUFATED TIES @ 24" o.c. VERT, AND 16° c,c, HORIZ, FLASHING AND WEEP HOLES 8" DONG, BLOCK BONDED AND GROUTED SOLD WIP BRICK VENEER W 22 GA 7/8" CORRUPATED TIES & 26" CA VERT, AND 16" CA HORIZ. @ 48° o.c. NOTE: FLASHING AND WEEP HOLES @ 46° A.C. TERMITE TREATMENT REQ'D @ 45" 8 UNDER SLAB OR OTHER NOTE: TERMITE TREATMENT REQUINDER SLAR OR OTHER AFFROVED TREATMENT PROCESS APPROVED TREATMENT 18. DOWELS (12.00 PROCESS 472 PERFORATED DRAIN 410 PERFORATED DRAI PIPE SET INGRAVEL PIPE SET IN GRAVEL # CONT, CONT, FOOTING PER FOUNDATION PLAN W (2) 44 BA IN SOFTOM-OLD FEODING NOTE! FOOTINGS TO SEAR ON SEN-COMMACTED FILL -OR-UNDISTRIBED SOIL (2 000 PSF SCL BEARING ASSUMED) CONT, CONC, FOOTING PER FOUNDATION PLAN W/ (2) #4 BARS IN BOTTOM 1/3 OF FOOTING NOTE FOOTINGS TO BEAR ON 95% RAILING DETAILS 1" - 1'-0"

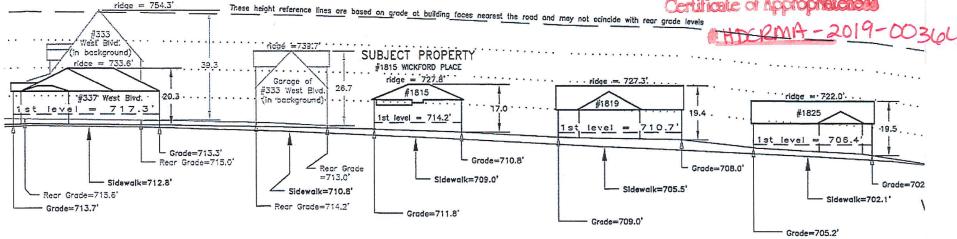
COMPACTED FILL -OR-UNDISTURDED SOIL

(2,000 PSF SOIL BEARING ASSUMED)

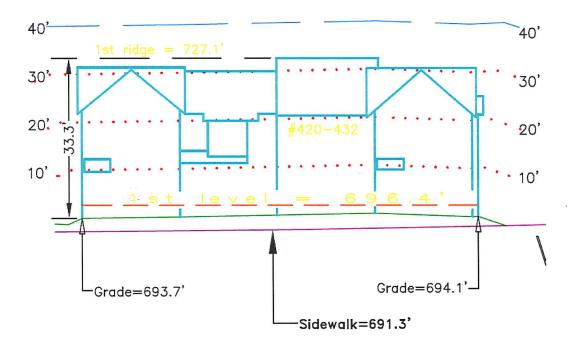
1822 Wickford STREET SURVEYS - July 2019

Wickford Place (across the Street – from West Blvd. to Worthington)





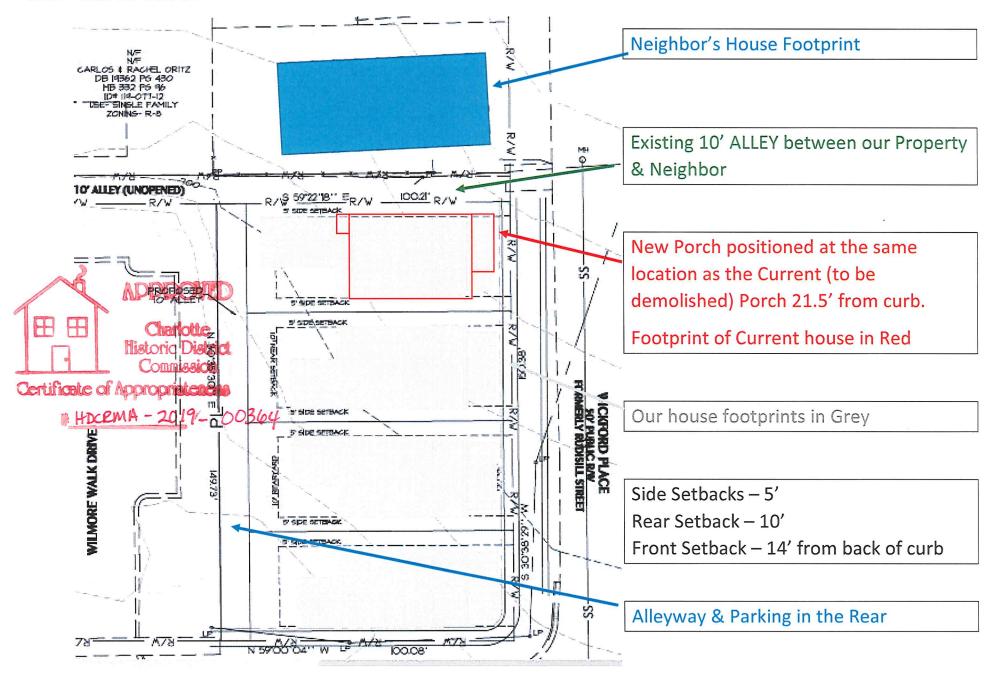
Worthington Ave (Wickford Place)



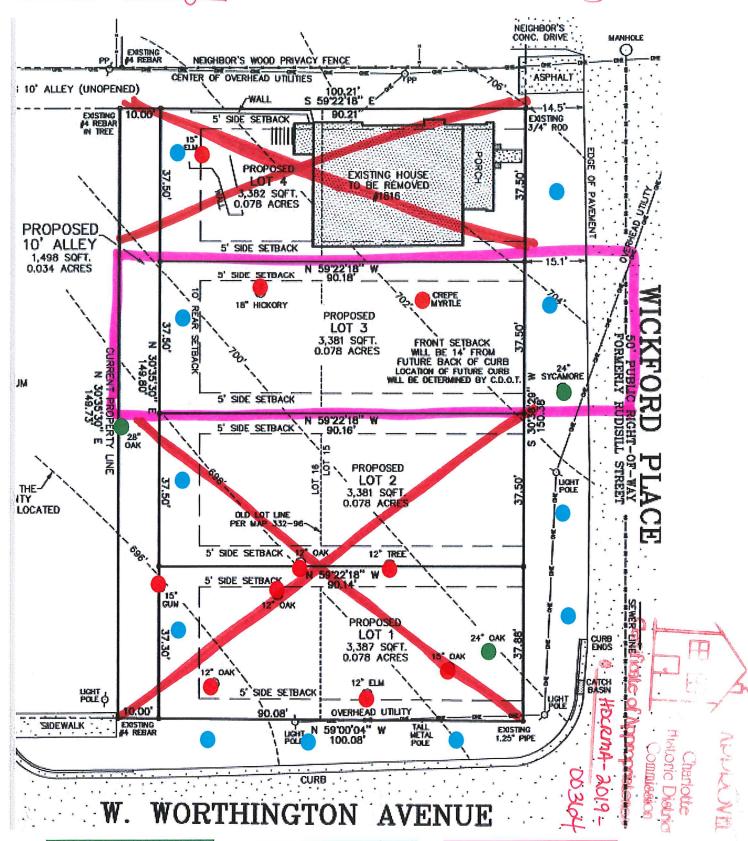
1816 Wickford Place				
LOT#	Roofline	Elevation to Grade		
1	27' 7.25"	730.3′		
2	23' 11.5"	728.6′		
3	27' 7.25"	730.8′		
4	23′ 11.5″	724.8′		

1822 Willford - July 2019

SITE PLAN ZOOM-IN



1822 Wickford - Tree Plan - July 2019



KEEP

- 24" OAK
- 28" OAK
- 24" SYCAMORE

ADD

(11) Medium
Size Oak Trees

REMOVED

- (5) Oak
- (1) Crepe Myrtle
- (1) Gum
 - (1) Hickory
- (1) Elm

1822 Willford - July 2019



The Tree Specialists that find Solutions Naturally*

FROM:

Arborguard Tree Specialists

PO Box 26767

Charlotte, NC 28221

FOR:

RCMD, LLC

Craig Calcasola

11050 Dundarrach Lane Charlotte, NC 28277

SUBJECT: 1816 Wickford Place, Charlotte, NC 28203 – SYCAMORE – lot 2

Dear Mr. Calcasola:

Thank you for this opportunity.

As per your request; we visited the property at 1816 Wickford Place, Charlotte, NC 28203 to examine 2 trees you specified and, based on this; submit the following observations, discussion and recommendations are in reference to the **Sycamore** (located on Wickford).

Large <u>Sycamore</u> closest to the next residence on Wickford Place; currently in fair to good condition, if the intent is to preserve this tree, the following procedures must be performed –

- 1. Soil injection therapy treatment with our organic material, same as above, once each in spring, summer and fall \$250 per treatment, total \$750 for all 3
- 2. Trunk insecticide and fungicide treatments, same as above, once each in spring, summer and fall \$75 per treatment, total \$225 for all 3
- 3. Trunk injection with systemic, long residual fungicide to prevent Sycamore Anthracnose in spring \$275
- 4. Complete and thorough pruning to provide crown cleaning for dead limbs, plus selective thinning of the extremities to reduce weight \$475
- 5. Erect barricade fencing beneath the drip-line, same as above \$550
- 6. Distribute a 4-6 inch layer of organic bark mulch beneath the canopy from drip-line to drip-line to protect the root zone areas \$450
- 7. Visit once per month during the construction project, same as above \$75
- 8. Re-visit to re-examine in Late Fall 2017, same as above NO CHARGE

Sincerely,

Barry Gemberling
ISA Certified Arborist, ASCA Consulting Arborist
Senior Corporate Arborist – The Carolinas
Vice President & Branch Manager
Arborguard Tree Specialists
704-578-5662

