



**CHARLOTTE HISTORIC DISTRICT COMMISSION**  
**CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER:** HDCRMA-2019-00364

**DATE:** 25 July 2019

**ADDRESS OF PROPERTY:** 1822 Wickford Place, Lot 2

**HISTORIC DISTRICT:** Wilmore

**TAX PARCEL NUMBER:** 11907748

**OWNERS/APPLICANTS:** RCMD, LLC/Craig Calcasola

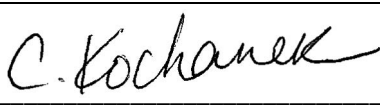
**DETAILS OF APPROVED PROJECT:** The project is the construction of a new single-family house. The front setback will match that of the previous structure on lot 1. Total height is +/- 23'-11 1/2" from grade. Materials include 8" wood German lap siding with 5 1/2" wide wood or smooth Miratec corner boards to sit 1/4" proud of the siding, smooth Miratec porch columns, wood or smooth Miratec front fascia/barge rafter, unpainted brick foundation and architectural asphalt shingles. Any trim not spelled out to be Miratec shall be wood. Roof overhangs are to extend 24" at a right angle to the siding with open rafter tails and exposed 3/4" thick tongue and groove v-notch between the rafters and 7 1/4" barge rafters with bed mold base. Windows will be wood, Simulated True Divided Light (STDL) with no brick casing, 4" wide non-tapered trim with 7/8" putty glaze. On site trees will be saved/added/removed according to the attached tree plan. The existing 24" Sycamore tree at the front of the lot will be protected as outlined in the attached Arboguard Tree Specialists letter. New trees will grow to be mature canopy trees and will be planted per the city's approved tree list. This COA does not include approval of final lighting, door and handrail details, the applicant is required to finalize these items with staff prior to installation. This COA and any handwritten notes in red on the attached plans take precedence. See attached plans.

The project was approved by the HDC July 10, 2019.

**Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.**

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
  - Display the blue COA placard in a visible location along with any required permits.
  - No other approvals are to be inferred.
  - No demolition other than that specifically indicated on any attached plans is authorized under this approval.
  - All work must be completed in accordance with all other applicable state and local codes.
  - Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.
- This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

  
\_\_\_\_\_  
James Haden, Chairman

  
\_\_\_\_\_  
Staff

**TYP. HANGERS FOR JOIST & BEAMS**  
NOTE: ALL HANGERS BY SIMPSON STRONG TIE CO., INC. (BRAND-NAME EQUIVALENTS ACCEPTABLE)

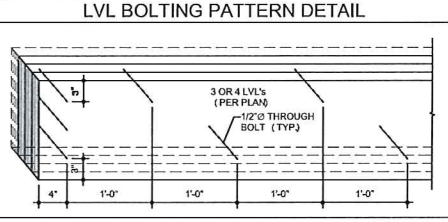
MEMBERS	HANGER
2x8	LUS28
2x10	LUS210
2x12	LUS212
(2) 2x8	HUS28-2
(2) 2x10	HUS210-2
(2) 2x12	HUS212-2
(2) 2x8	LUS28-3
(2) 2x10	LUS210-3
(2) 2x12	HU212-3 MIN.
(2) 1-3/4"x8-1/4" LVL	HGUS410
(2) 1-3/4"x8-1/2" LVL	HGUS410
(2) 1-3/4"x11-1/4" LVL	HGUS412
(2) 1-3/4"x11-7/8" LVL	HGUS412
(2) 1-3/4"x14" LVL	HGUS414
(2) 1-3/4"x16" LVL	HGUS414
(2) 1-3/4"x18" LVL	HGUS414
(2) 1-3/4"x8-1/4" LVL	HGUS55010
(2) 1-3/4"x8-1/2" LVL	HGUS55010
(2) 1-3/4"x11-1/4" LVL	HGUS55012
(2) 1-3/4"x11-7/8" LVL	HGUS55012
(2) 1-3/4"x14" LVL	HGUS55014
(2) 1-3/4"x16" LVL	HGUS55014
(2) 1-3/4"x18" LVL	HGUS55014
(2) 1-3/4"x8-1/4" LVL	HGUS72510
(2) 1-3/4"x8-1/2" LVL	HGUS72510
(2) 1-3/4"x11-1/4" LVL	HGUS72512
(2) 1-3/4"x11-7/8" LVL	HGUS72512
(2) 1-3/4"x14" LVL	HGUS72514
(2) 1-3/4"x16" LVL	HGUS72514
(2) 1-3/4"x18" LVL	HGUS72514

**HEADER SIZE REQUIREMENTS**

SIZES	EXTERIOR SPAN	INTERIOR SPAN	JACK STUDS
(2) 2x6s	< 2'-0"	< 2'-6"	1
(2) 2x8s	2'-0" thru 3'-0"	2'-6" thru 3'-6"	2
(2) 2x10s	3'-0" thru 5'-0"	3'-6" thru 6'-6"	2
SEE PLAN	5'-0" <	6'-6" <	SEE PLAN

**WALL STUD REQUIREMENTS**

EXTERIOR WALL HEIGHT	STUD SIZE AND SPACING
H < 10'-0"	2x4 @ 16" o.c.
10'-0" < H < 11'-0"	2x4 @ 12" o.c.
10'-0" < H < 11'-0"	2x6 @ 16" o.c.
H > 18'-0"	CONSULT ENGINEER



**MAIN LEVEL**

HEATED SQUARE FOOT	1,487 SQ. FT.
DECK	112 SQ. FT.
COVERED FRONT PORCH	185 SQ. FT.

**UPPER LEVEL**

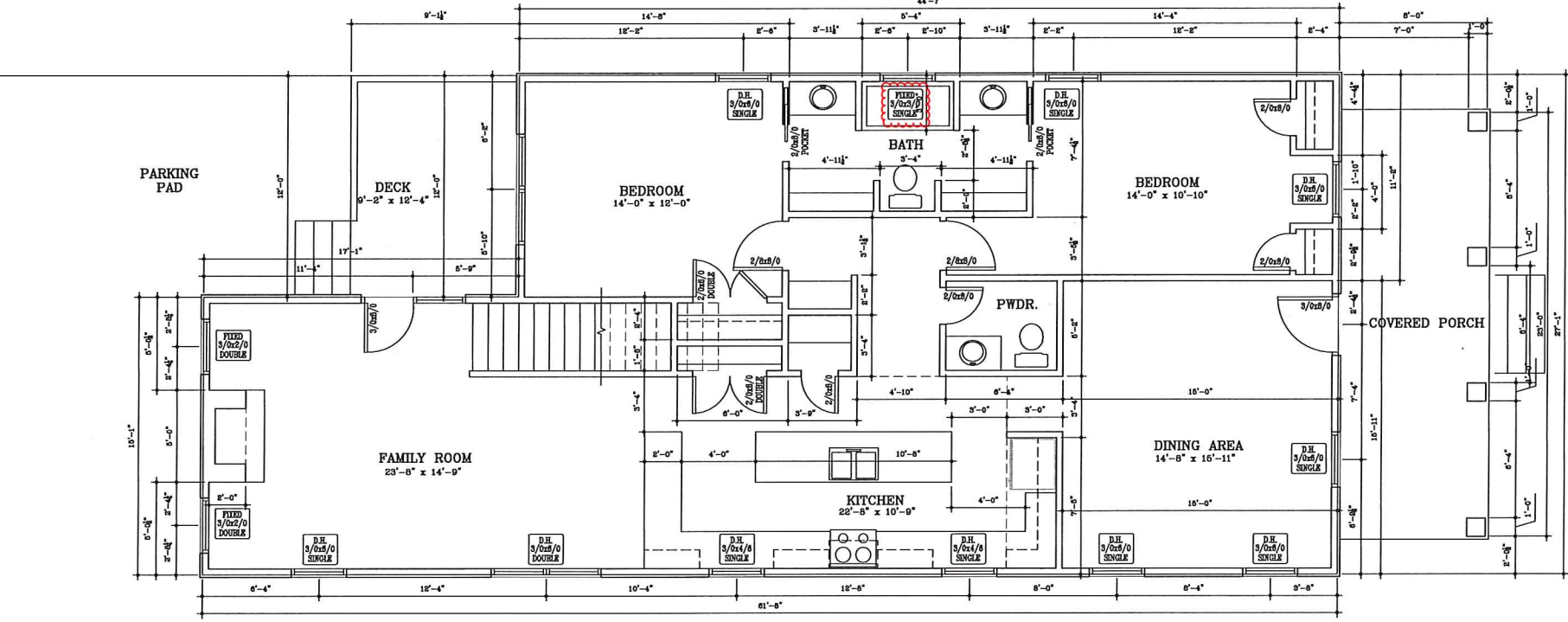
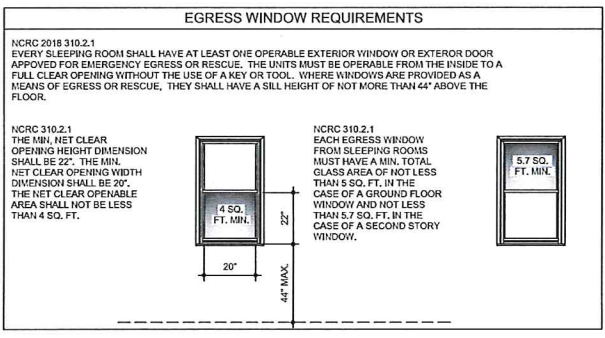
HEATED SQUARE FOOT	575 SQ. FT.
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**TOTAL**

HEATED SQUARE FOOT	2,062 SQ. FT.
UNHEATED SQUARE FOOT	297 SQ. FT.

REVISED SQUARE FOOTAGE ON BUILDING PERMIT APPLICATION / HEATED IS 2062 SF FOR FIRST & SECOND FLOOR / UNHEATED IS 185 SF FRONT PORCH / DECK 112 SF

- GENERAL PLAN NOTES**
- DRAWINGS ARE NOT TO BE SCALED, DIMENSIONS IN QUESTION SHALL BE CLARIFIED BY ARCHITECT.
  - ALL EXTERIOR DIMENSIONS ARE SHOWN TO THE OUTSIDE FACE OF STUD, UNLESS NOTED OTHERWISE.
  - ALL INTERIOR DIMENSIONS ARE SHOWN TO THE INSIDE FACE OF STUD, UNLESS NOTED OTHERWISE.
  - ALL INTERIOR WALLS ARE ASSUMED TO BE 3-1/2" WOOD STUDS, (UNLESS NOTED OTHERWISE).
  - ALL EXTERIOR WALLS ARE ASSUMED TO BE 3-1/2" WOOD STUDS (PLUS 1/2" EXTERIOR WALL SHEATHING); UNLESS NOTED OTHERWISE.
  - ALL DOORS TO BE CENTERED, UNLESS NOTED OTHERWISE.
  - PROVIDE WOOD BLOCKING IN WALLS FOR MOUNTING OF ALL CABINETS, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS.
  - ALL CABINERY TO BE DESIGNED BY OTHERS AND SHALL MEET ALL APPLICABLE ACCESSIBILITY CODES (IF REQUIRED).
  - ALL FINISH AND COLOR SELECTIONS TO BE APPROVED BY ARCHITECT/IG.C.
  - NUMBER OF EXTERIOR RISERS TO BE FIELD VERIFIED, AT LOCATIONS WHERE 4 OR MORE ARE REQUIRED A HANDRAIL WILL ALSO BE REQUIRED.
  - PROVIDE TERMITE CHEMICAL AT FOUNDATION, AS REQUIRED.
  - MINIMUM 22-1/2" (w) x 54-1/2" (h) ATTIC ACCESS DOOR w/ PULL DOWN LADDER TO BE DETERMINED ON SITE AND WEATHERSTRIPPED AND INSULATED WITH MIN. R-5.
  - HVAC RETURN (S) TO BE DETERMINED ON SITE.
  - ALL COUNTERTOPS TO BE 3/4" A.F. UNLESS NOTED OTHERWISE.
  - ALL DOOR HEIGHTS ARE SHOWN ON PLANS.
- FRAMING CONSTRUCTION-OTHER THAN ROOF**
- STEEL BEAMS MUST HAVE (5) 2x4 STUD JACKS UNDER EACH END SUPPORT, UNLESS NOTED OTHERWISE.
  - MICRO-LAM BEAMS, SEE SO.1, CONSTRUCTION OTHER THAN ROOFS, NOS. 7.
  - ALL BRICK OVER LOWER ROOFS MUST HAVE ANGLE WITH STOPS LAG SCREWS TO STUDS ABOVE AND ACCORDANCE WITH DETAIL.
  - ALL WOOD JOISTS AND OPEN JOISTS MUST BE BRACED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS PLUS DETAILS SHOWN ON PLANS.
  - ALL RAFTER BRACES MUST HAVE 2 STUDS FROM PLATE TO FOUNDATION OR BEAM BELOW THEM AT ALL FLOORS. NO BRACES ON CEILING PLATE WITHOUT STUDS DIRECTLY UNDER THEM.
  - WHERE PARTITIONS FALL BETWEEN FLOOR TRUSSES, 2"x4" LADDERS @ 16" o.c. MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT THE PLYWOOD DECKING.
  - ON ALL OPEN WEB FLOOR TRUSSES OVER A 10' SPAN A MIN. SINGLE LINE OF 2"x4" SHALL BE NAILED TO DIAGONAL MEMBERS OR VERTICAL MEMBERS IN THE APPROXIMATE MID-SPAN AS A LOAD DISTRIBUTION MEMBER.
  - WHERE CEILING JOISTS ARE PARALLEL TO EXTERIOR WALLS AND RAFTERS BEAR ON STUD WALL TOP PLATE ADJACENT TO CEILING JOISTS, BRACE RAFTERS AND TOP PLATE TO 2x6 HOGS 6' LONG (MIN) ON 6' CENTERS ALONG LENGTH OF CEILING JOISTS.
  - ALL 2-STORY OPEN GREAT ROOMS, LIVING ROOMS, WITH 2 OR MORE ADJACENT OPENINGS OF 3' OR LESS MUST USE A 3-1/2"x3-1/2"x1/2" STEEL ANGLE VERTICALLY FROM FLOOR TO TOP PLATE LAGGED TO KING STUDS WITH (3) 8"x3" LAGS @ 24" o.c. VERTICALLY AND LAGGED TO FLOOR AND TOP PLATE WITH (1) 3/8"x3" LAG THROUGH A 1/4" PLATE AT THE TOP AND BOTTOM. MULTIPLE OPENINGS WITH 3' OR LESS SPACE BETWEEN ROUGH OPENINGS SHALL HAVE AT LEAST (1) STEEL ANGLE VERTICALLY IN EACH MULLION SPACE. THE SHEATHING ON THIS STEEL REINFORCED PARTITION SHALL BE 1/2" PLYWOOD, NO OTHER SHEATHING SHALL BE PERMITTED.
- STAIRWAYS**
- RISERS SHALL BE 9" DEEP PLUS A 1" NOSING
  - RISERS SHALL BE FIELD VERIFIED (NOT TO EXCEED 6-1/4")
  - STAIR SHALL BE 36" WIDE CLEAR MINIMUM AND SHALL HAVE A HANDRAIL AT A HEIGHT ABOVE THE NOSING OF 34"-38".
  - GUARD RAIL HEIGHT SHALL BE A MINIMUM OF 36" IN HEIGHT PER R312.1.2
  - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM WALKING SURFACE TO GUARD RAIL HEIGHT THAT ALLOW PASSAGE OF A 4-3/8" SPHERE.
  - GUARDS ON OPEN SIDES OF STAIRS SHALL NOT HAVE OPENINGS ALLOWING PASSAGE OF A 4-3/8" SPHERE.
  - TRIANGLE FORMED BY RISER, TREAD AND BOTTOM GUARD RAIL SHALL NOT ALLOW PASSAGE OF A 6" SPHERE.



101 LOWER LEVEL PLAN  
A1.0

1/4" = 1'-0"

**APPROVED**  
Charlotte Historic District Commission  
Certificate of Appropriateness  
HDCRMA - 2019 - 00364

**APPROVED AS NOTED**



MECKLENBURG COUNTY  
CODE ENFORCEMENT  
Residential Plan Review Disclaimer:  
A limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the responsibility of the Contractor to construct this project using good engineering practice and in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.

**PROJECT # 397421**

APPROVED AS NOTED  
UNDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS

PLANS REVIEWED BY:  
DANIEL T NEBUS II  
07/05/2019

**R. ALLEN CONSTRUCTION**  
1871 PONCHER ROAD  
LINCOLTON, NORTH CAROLINA  
(704) 782-0844  
(704) 782-1720

**A NEW RESIDENCE AT: WILMORE #2**  
WILMORE02  
DATE: NOVEMBER 21, 2016  
DRAWN BY: MSB  
CHECKED BY: MSB  
REVISIONS:  
NO. DATE BY  
COMPUTER REFERENCE NUMBER  
WILMORE0201 -125  
SHEET NO.  
A1.0 OF 4

**TYP. HANGERS FOR JOIST & BEAMS**  
NOTE: ALL HANGERS BY SIMPSON STRONG TIE CO., INC. (BRAND-NAME EQUIVALENTS ACCEPTABLE)

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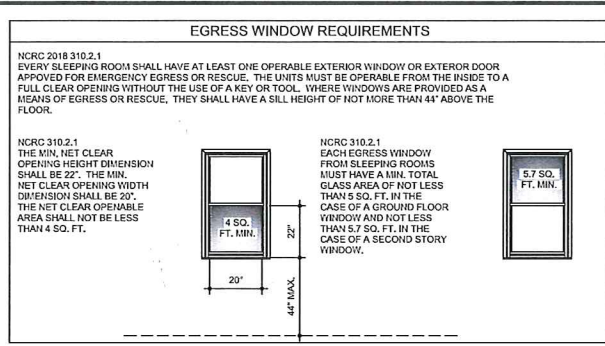
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  - RISERS SHALL BE FIELD VERIFIED (NOT TO EXCEED 8-1/4")
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  - TRIANGLE FORMED BY RISER, TREAD AND BOTTOM GUARD RAIL SHALL NOT ALLOW PASSAGE OF A 6" SPHERE.



**MAIN LEVEL**

HEATED SQUARE FOOT	1,487 SQ. FT.
DECK	112 SQ. FT.
COVERED FRONT PORCH	185 SQ. FT.

**UPPER LEVEL**

HEATED SQUARE FOOT	575 SQ. FT.
--------------------	-------------

**TOTAL**

HEATED SQUARE FOOT	2,062 SQ. FT.
UNHEATED SQUARE FOOT	297 SQ. FT.



**MECKLENBURG COUNTY CODE ENFORCEMENT**

Residential Plan Review Disclaimer:  
A limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the Responsibility Of The Contractor to construct this project using good engineering practice and in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.

**PROJECT # 397421**

APPROVED AS NOTED

UNDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS

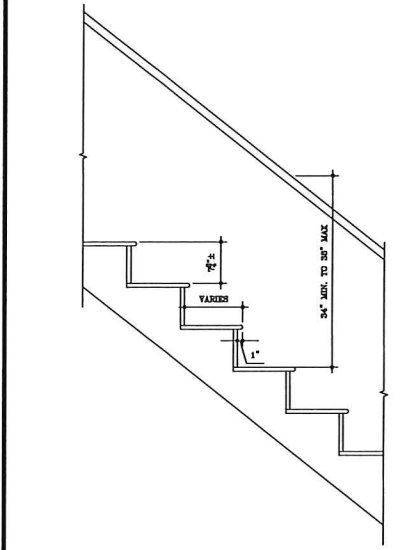
PLANS REVIEWED BY:  
**DANIEL T NEBUS II**  
07/05/2019

**APPROVED**

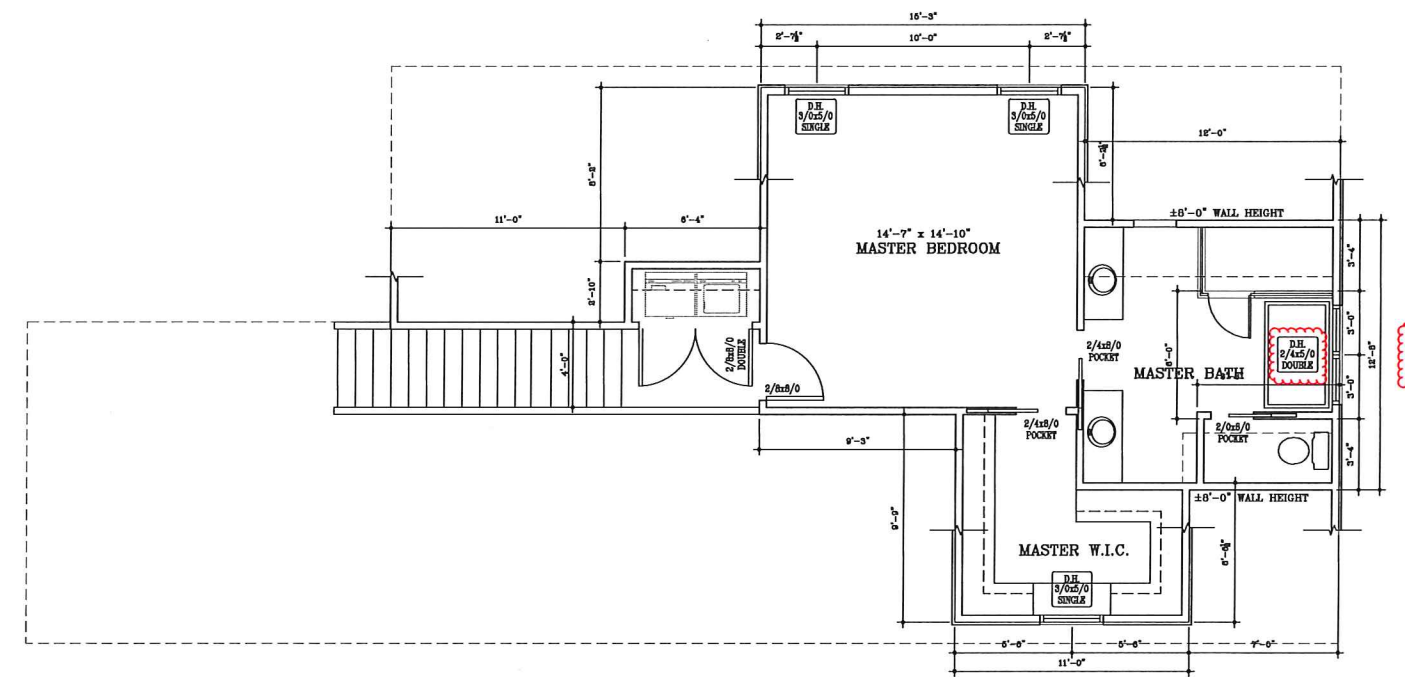
Charlotte Historic District Commission

Certificate of Appropriateness

# HDCRMA-2019-00364



102 TYP. STAIR DTL. 3/4" = 1'-0"  
A1.1



101 UPPER LEVEL PLAN  
A1.1

1/4" = 1'-0"

**R. ALLEN CONSTRUCTION**  
1871 POARCH ROAD  
DANFORTH, NORTH CAROLINA

**WILMORE #2**  
A NEW RESIDENCE AT:  
CHARLOTTE, NC

PROJECT NO. WILMORE02  
DATE: NOVEMBER 21, 2016  
DRAWN BY: MSB  
CHECKED BY: MSB

REVISIONS:

NO.	DATE	BY

COMPUTER REFERENCE NUMBER  
WILMORE0201 .125  
SHEET NO.  
**A1.1** OF 4

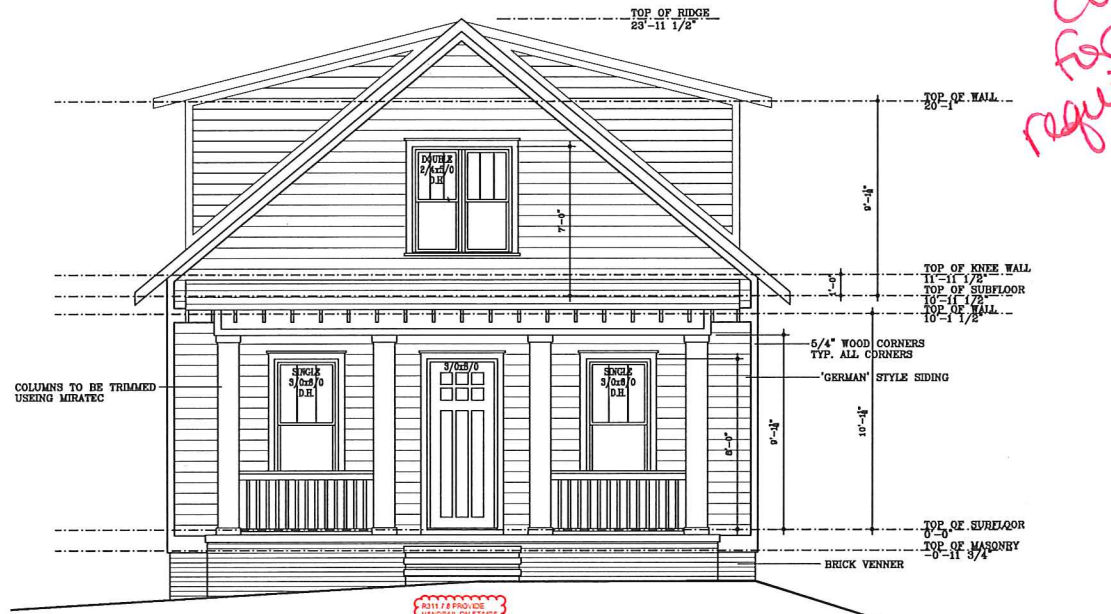
**MECKLENBURG COUNTY NORTH CAROLINA**

TELEPHONE (704) 788-8844  
FAX (704) 788-1780

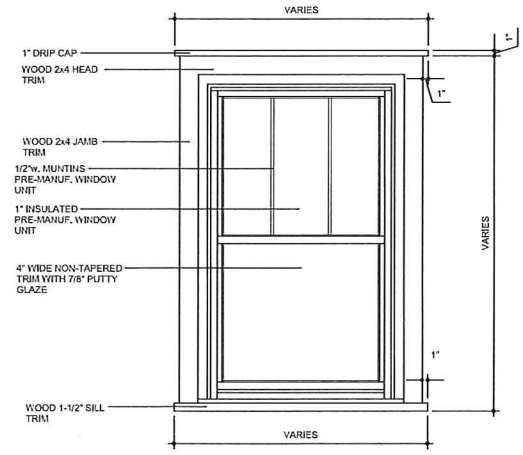
See  
HDC  
COA  
for  
requirements

**ELEVATION NOTES:**

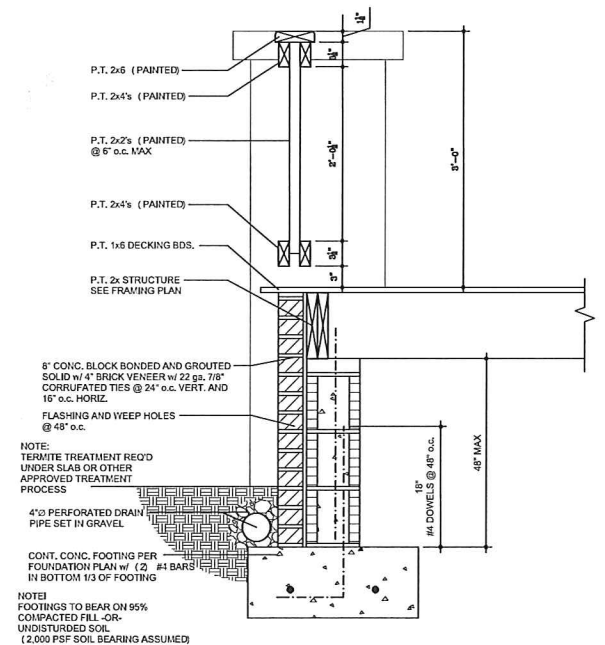
1. ALL SHINGLES ARE TO BE SELECTED BY OWNER
2. ALL BRICK VENEER IS TO BE SELECTED BY OWNER
3. ALL GERMAN STYLE SIDING IS TO BE SELECTED BY OWNER
4. ALL DOOR AND WINDOW STYLES ARE TO BE SELECTED BY OWNER
5. ALL GRADE SHOWN IS PROPOSED AND IS TO BE FIELD VERIFIED BY G.C.
6. ALL OVERHANGS ARE TO BE 1'-0" TYPICAL
7. ALL STEPS SHOWN ARE TO ADJUST TO GRADE AS NEEDED



301 FRONT ELEVATION  
A3.0  
1/4" = 1'-0"

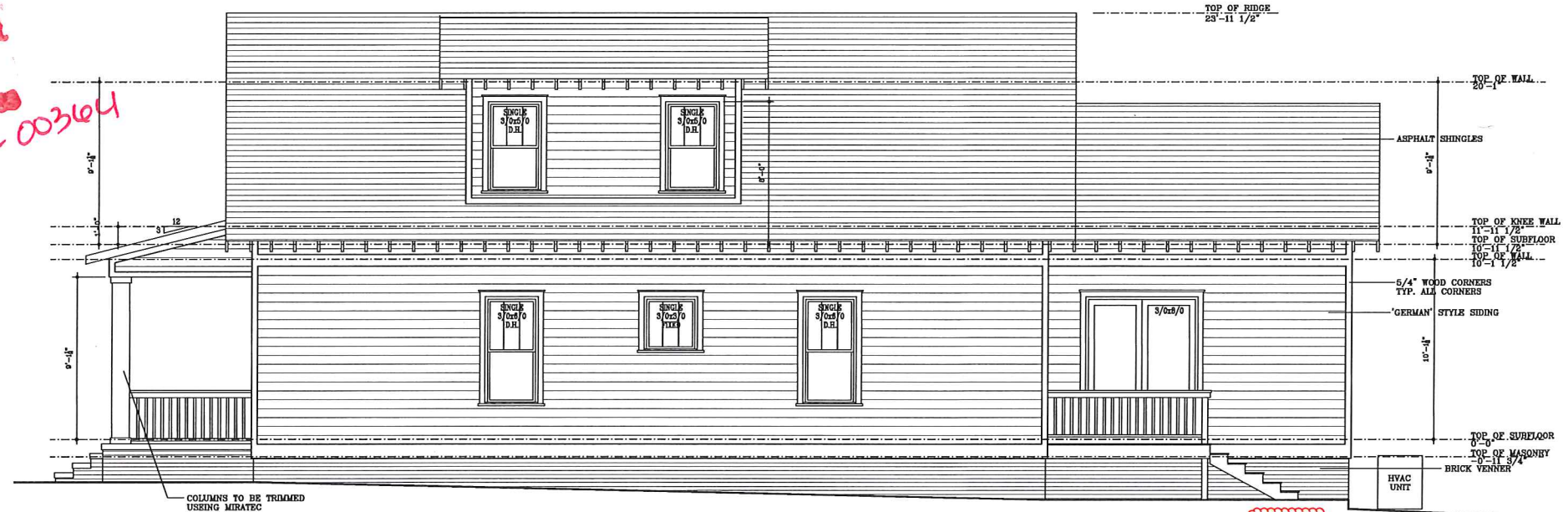


303 WINDOW TRIM DTL. TYP. 3/4" = 1'-0"



304 RAILING DETAILS  
A3.1  
1" = 1'-0"

**APPROVED**  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
HDC/EMA - 2019-00364



302 RIGHT SIDE ELEVATION  
A3.0  
1/4" = 1'-0"



MECKLENBURG COUNTY  
CODE ENFORCEMENT  
Residential Plan Review Disclaimer:  
A limited plan review for compliance  
with the NC State Residential Code  
was performed on these plans.  
It is the Responsibility Of The  
Contractor to construct this project  
using good engineering practice and  
in full compliance with the North  
Carolina Residential Code, local  
ordinances, and State regulations.

**PROJECT  
# 397421**

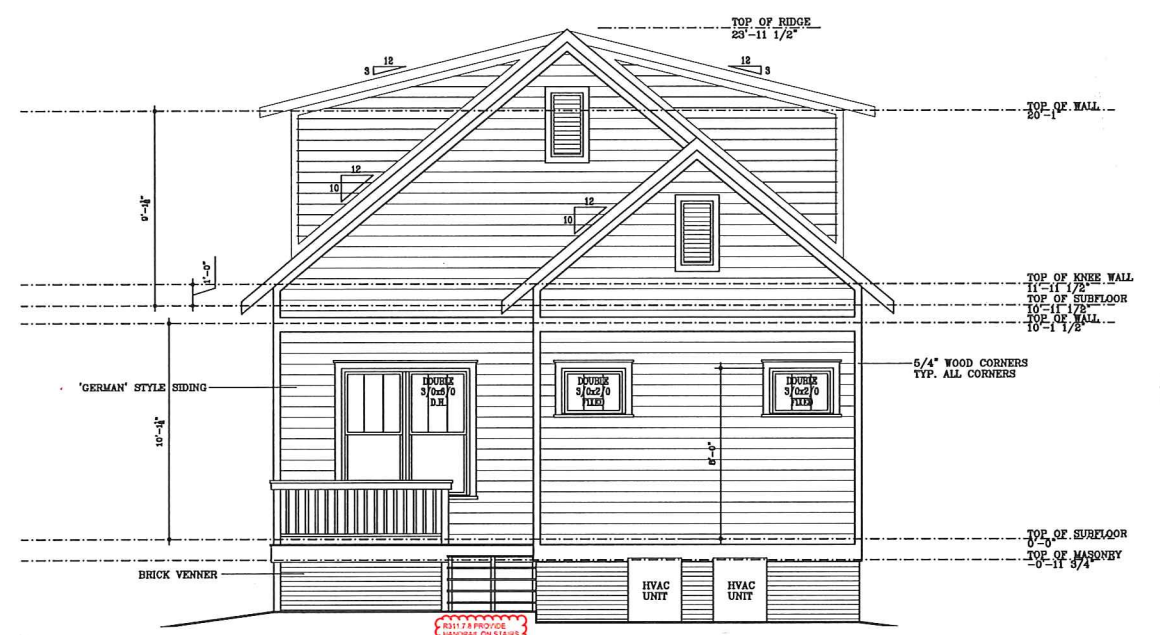
**APPROVED AS NOTED**  
UNDER A LIMITED REVIEW FOR  
COMPLIANCE WITH THE 2018 NC  
RESIDENTIAL CODE. THIS  
APPROVAL SHALL NOT BE  
CONSTRUED TO PERMIT ANY  
VIOLATIONS OF LOCAL, STATE,  
OR FEDERAL LAWS  
**PLANS REVIEWED BY:**  
DANIEL T NEBUS II  
07/05/2019

**R. ALLEN**  
 CONSTRUCTION  
 1871 POARCH ROAD  
 INCOULTON, NORTH CAROLINA  
 (704) 788-0844  
 (704) 788-1720  
 TELEPHONE  
 FAX

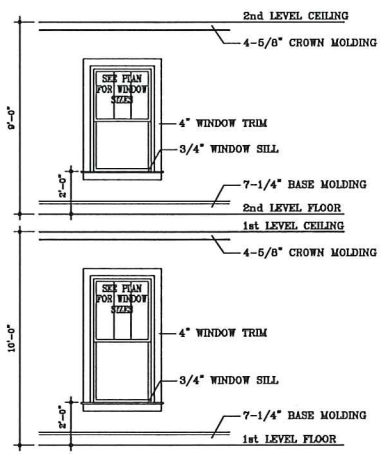
**M.S.J. DRAFTING**

A NEW RESIDENCE AT:  
**WILMORE #2**  
 CHARLOTTE, NC

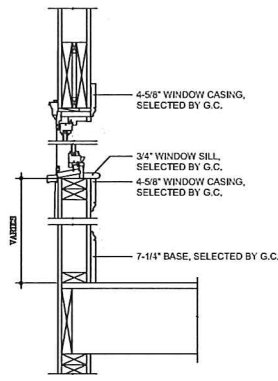
PROJECT NO. WILMORE02  
 DATE: NOVEMBER 21, 2016  
 DRAWN BY: MSB  
 CHECKED BY: MSB  
 REVISIONS:  
 NO. DATE BY  
 COMPUTER REFERENCE NUMBER  
 WILMORE0201 .125  
 SHEET NO.  
**A3.0** of 4



301 REAR ELEVATION  
A3.1  
1/4" = 1'-0"

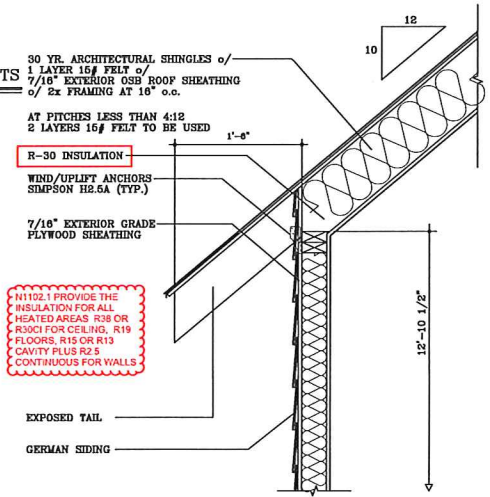


305 TRIM DETAILS  
A3.1  
NTS



304 TRIM DETAIL  
A3.1  
NTS

**APPROVED**  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
HDC RMA-2019-  
00364



303 SOFFIT DETAILS  
A3.1  
1/4" = 1'-0"

- ELEVATION NOTES:**
1. ALL SHINGLES ARE TO BE SELECTED BY OWNER
  2. ALL BRICK VENEER IS TO BE SELECTED BY OWNER
  3. ALL GERMAN STYLE SIDING IS TO BE SELECTED BY OWNER
  4. ALL DOOR AND WINDOW STYLES ARE TO BE SELECTED BY OWNER
  5. ALL GRADE SHOWN IS PROPOSED AND IS TO BE FIELD VERIFIED BY G.C.
  6. ALL OVERHANGS ARE TO BE 1'-0" TYPICAL
  7. ALL STEPS SHOWN ARE TO ADJUST TO GRADE AS NEEDED

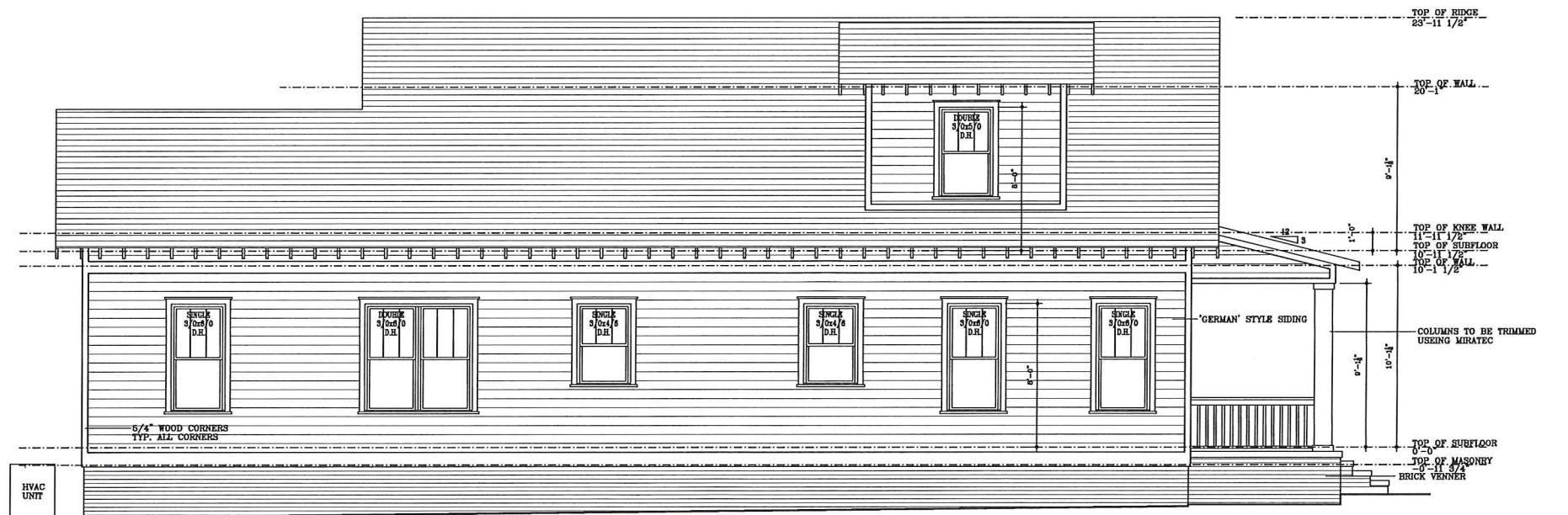
See  
HDC  
COA for  
Requirements



**PROJECT # 397421**

**APPROVED AS NOTED**  
UNDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS  
PLANS REVIEWED BY:  
DANIEL T NEBUS II  
07/05/2019

MECKLENBURG COUNTY  
CODE ENFORCEMENT  
Residential Plan Review Disclaimer:  
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302 LEFT SIDE ELEVATION  
A3.1  
1/4" = 1'-0"

M S J D R A F T I N G  
 R. ALLEN  
 CONSTRUCTION  
 A NEW RESIDENCE AT:  
 WILMORE #2  
 WILMORE, NC  
 PROJECT NO. WILMORE02  
 DATE: NOVEMBER 21, 2018  
 DRAWN BY: MSB  
 CHECKED BY: MSB  
 REVISIONS:  
 NO. DATE BY  
 COMPUTER REFERENCE NUMBER  
 WILMORE0201 .125  
 SHEET NO.  
 A3.1 OF 4





APPROVED

Charlotte Historic District Commission

Certificate of Appropriateness

HDCRMA-2019-003604



MECKLENBURG COUNTY CODE ENFORCEMENT

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PROJECT # 397421

APPROVED AS NOTED

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PLANS REVIEWED BY: DANIEL T NEBUS II 07/05/2019



Residential Structures, P.C.

Engineering and Design

Charlotte: 704-332-5460

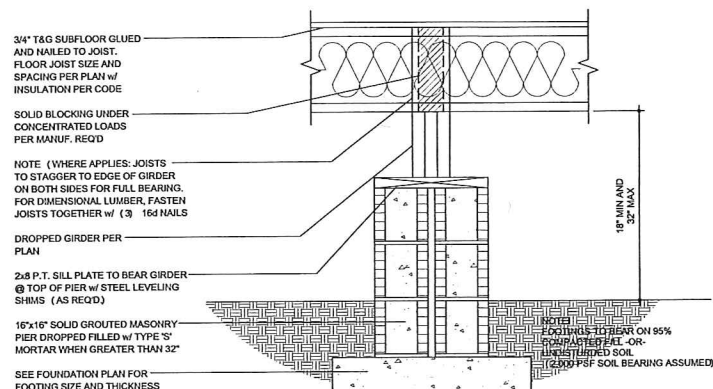
Myrtle Beach/Florence: 704-301-9521

www.residentialstructurespc.com



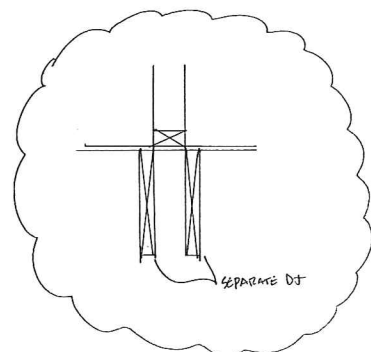
RESIDENTIAL STRUCTURES P.C. 3410 N. Davidson St. Charlotte, NC 28205

A NEW RESIDENCE AT: WILMORE #2 CHARLOTTE, NC



FOUNDATION DETAIL @ DROPPED GIRDER

1" = 1'-0"



- FOUNDATION NOTES: 1. ALL DIMENSIONS SHALL BE WORKED AGAINST ARCHITECTURAL PLANS. 2. TRANSFER ALL POINT LOADS ABOVE TO FOUNDATION WITH AN EQUAL NUMBER OF STUDS...

4" CONCRETE SLAB (3000 PSI) W/6#-10/10 WALL OR PERIMETER REINFORCEMENT OVER SILL PLATE ON TYPICAL TREATED SOIL WITH SOIL BEARING CAPACITY (3000 PSF)

2x10 SPF#2 FLOOR JOIST @ 16" o.c. TYP. UNO (SEE PLAN)

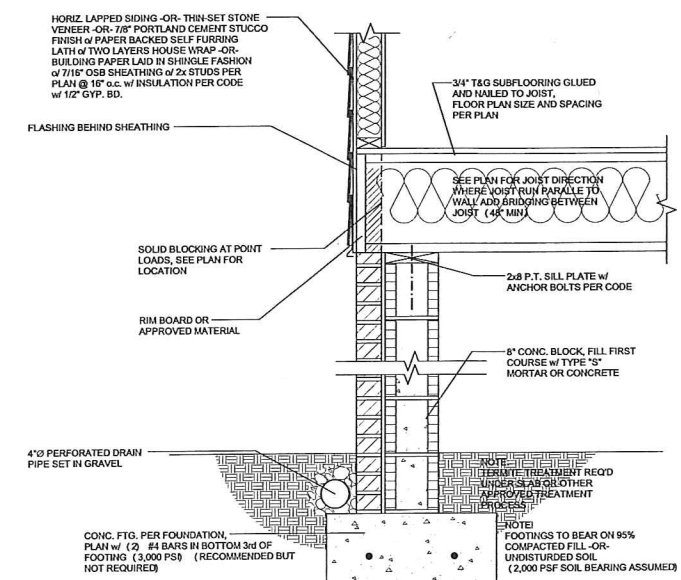
(2-2x10 PERIMETER BAND TYP)

DJ - DOUBLE JOIST (TYP BELOW PARALLEL WALLS OF 5FT LENGTH OR GREATER (SEE SEPARATION DETAIL FOR TRADE CLEARANCES))

R408.8 PROVIDE CRAWL SPACE ACCESS MINIMUM SIZE 18 INCHES x 24 INCHES

R408.1.2 PROVIDE FOUNDATION VENTS WITHIN 3 FEET OF EACH CORNER

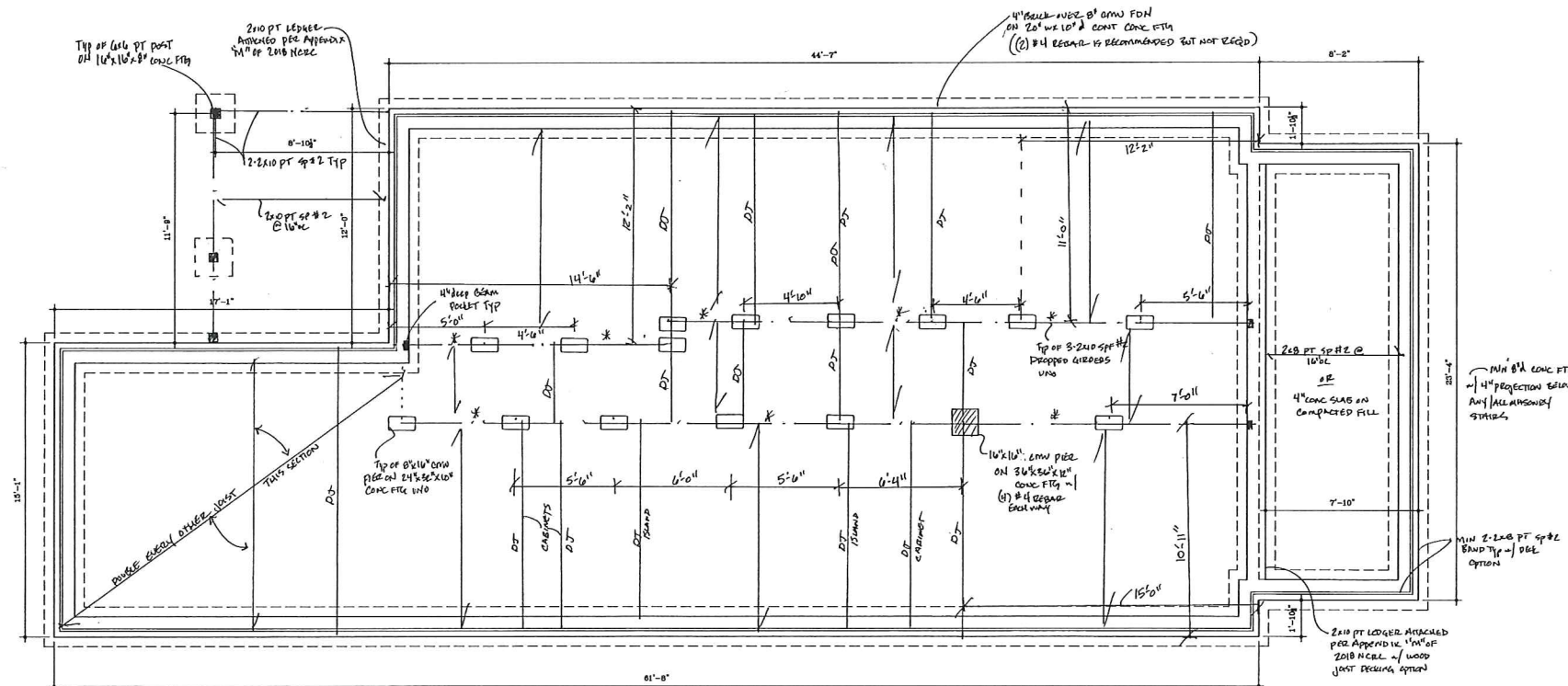
R408.2 PROVIDE MIN 6 MIL POLY VAPOR BARRIER IN THE CRAWL SPACE



FOUNDATION DETAIL @ TYP. EXTERIOR WALL

1" = 1'-0"

1/2" ANCHORS AT 72" o.c. MAX. WITHIN 12" OF CORNERS/ENDS. A MIN. OF 2 ANCHORS PER PLATE AND ALL WITH A MIN OF 7" EMBEDMENT



FOUNDATION PLAN

1/4" = 1'-0"

Table with 2 columns: REV. DATE, DESCRIPTION

DESIGNER: PRS

SCALE:

DATE:

SHEET: S2



MECKLENBURG COUNTY  
CODE ENFORCEMENT

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Contractor to construct this project  
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Carolina Residential Code, local  
ordinances, and State regulations.

**PROJECT  
# 397421**

APPROVED AS NOTED

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OR FEDERAL LAWS

PLANS REVIEWED BY:  
**DANIEL T NEBUS II**  
07/05/2019

**APPROVED**

Charlotte  
Historic District  
Commission

Certificate of Appropriateness  
# HDCR2MA-2019-003604

- FIRST FLOOR FRAMING NOTES:**
- ALL EXTERIOR WALLS TO BE SHEATHED w/ 5/8" OSB ATTACHED TO FRAMING w/ #4 NAILS AT 8" O.C. EDGE AND 12" O.C. FIELD. PROVIDE BLOODING AT ALL PANEL EDGES.
  - ALL INT./EXT. LOAD BEARING WALL HEADERS TO BE 2-2X10 UNCL. w/ (1) JACK @ EACH END UNCL. 3-2X10 @ 20' WALLS.
  - ALL EXTERIOR WALL HEADERS TO HAVE (1) KING PER EVERY 3 FEET OF OPENING @ E.E. UNCL.
  - ADD AN EXTRA JOIST/TRUSS UNDER ALL PARALLEL PARTITION WALLS.
  - D.L. = DOUBLE JOIST
  - TRANSFER ALL POINT LOADS FROM ABOVE THROUGH THE FIRST FLOOR w/ AN EQUAL AMOUNT OF STUD MATERIAL.
  - ALL HEADERS NOTED TO BE PORTAL FRAMED PER METHOD "M" SHALL BE IN ACCORDANCE w/ 700.10.1.1 OF IBC REVERSED WALL BRACING PROVISIONS. UNCL.
  - ALL WALLS NOTED TO BE SHEATHED PER METHOD "CP" SHALL BE SHEATHED ON BOTH SIDES w/ 1/2" OSB BOUND ATTACHED TO FRAMING w/ #4 COOLER NAILS OR #6 SCREWS @ 7" O.C. ALONG THE EDGES AND IN THE FIELD.
  - ATTACH UNCL. W/3) ROWS OF 16d NAILS @ 12" O.C. FROM EACH FACE UNCL.
  - NUMBER OF STUDS, STUDS TO BE SAME SIZE AS ASSOCIATED WALL FRAMING STUDS.
    - #1 @ E.E. = # of stud studs and # of ling studs at each end of header.
- ① = 2x8 (3x4 #2) CEILING JOISTS @ 16" O.C. UNCL.  
② = 2x8 (3x4 #2) @ 16" O.C. UNCL.  
③ = 11-7/8" FR-45 JOISTS @ 16" O.C. UNCL. MULTI SPAN AS SHOWN

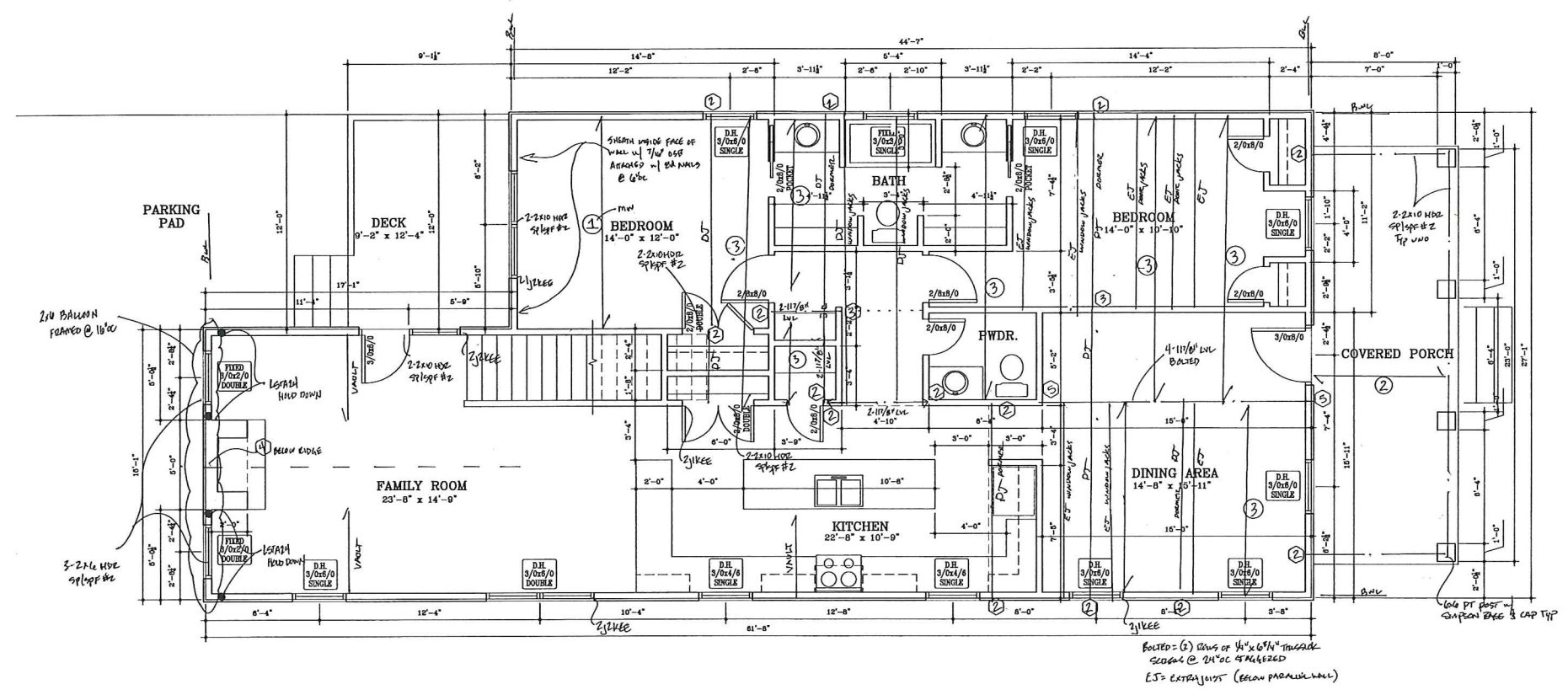
- WIND BRACING NOTES**
- 115 MPH WIND ZONE w/EXP "B"
  - BWL = BRACED WALL LINE, METHOD CS WSP (U.N.C.)
  - THE ENGINEERED BRACED WALL DESIGN MEETS OR EXCEEDS THE INTENT OF THE 2018 NCRC. INSTALL CONTINUOUS 7/16" OSB w/ 6d NAILS AT 8" oc AT PERIMETER AND 12" oc AT INTERMEDIATE SUPPORTS.

**TYPICAL HANGERS**

MEMBER	HANGER
210	LUS210
212	LUS210
(2) 210	HUS210-2
(2) 210	HUS210-2
(2) 212	HUS212-2
(2) 210	LUS210-2
(2) 210	LUS210-2
(2) 212	LUS212-2
(2) 14" / (2) 11 1/2" LVL	HUS410
(2) 14" / (2) 11 1/2" / (2) 11 1/2" LVL	HUS414
(2) 11 1/2" LVL	HUS350/70
(2) 11 1/2" LVL	HUS350/70
(2) 14" / (2) 11 1/2" / (2) 11 1/2" LVL	HUS350/74
(2) 11 1/2" LVL	HUS375/70
(2) 11 1/2" LVL	HUS375/70
(2) 14" / (2) 11 1/2" / (2) 11 1/2" LVL	HUS375/74

**WALL STUD REQUIREMENTS**

EXT. WALL HT. (h)	STUD SIZE AND SPACING
h < 10'-0"	2x4 @ 16" (O.C.)
10'-0" < h < 11'-0"	2x4 @ 16" (O.C.)
11'-0" < h < 12'-0"	2x4 @ 16" (O.C.)
h > 12'-0"	CONSULT ENGINEER



NOTE: THE WALL BRACING FOR THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE INTENT OF THE 2018 NCRC.



Residential Structures, P.C.  
Engineering and Design  
Charlotte: 704-332-6460  
Charleston: 843-406-7174  
Myrtle Beach/Florence: 704-301-9521  
www.residentialstructurespc.com



A NEW RESIDENCE AT:  
**WILMORE #2**  
CHARLOTTE, NC

REV. DATE DESCRIPTION  
DESIGNER: PRS

SCALE:

DATE:

SHEET:  
**S3**




**APPROVED**  
 Charlotte  
 Historic District  
 Commission  
 Certificate of Appropriateness  
 # HDCEMA-2019-003604

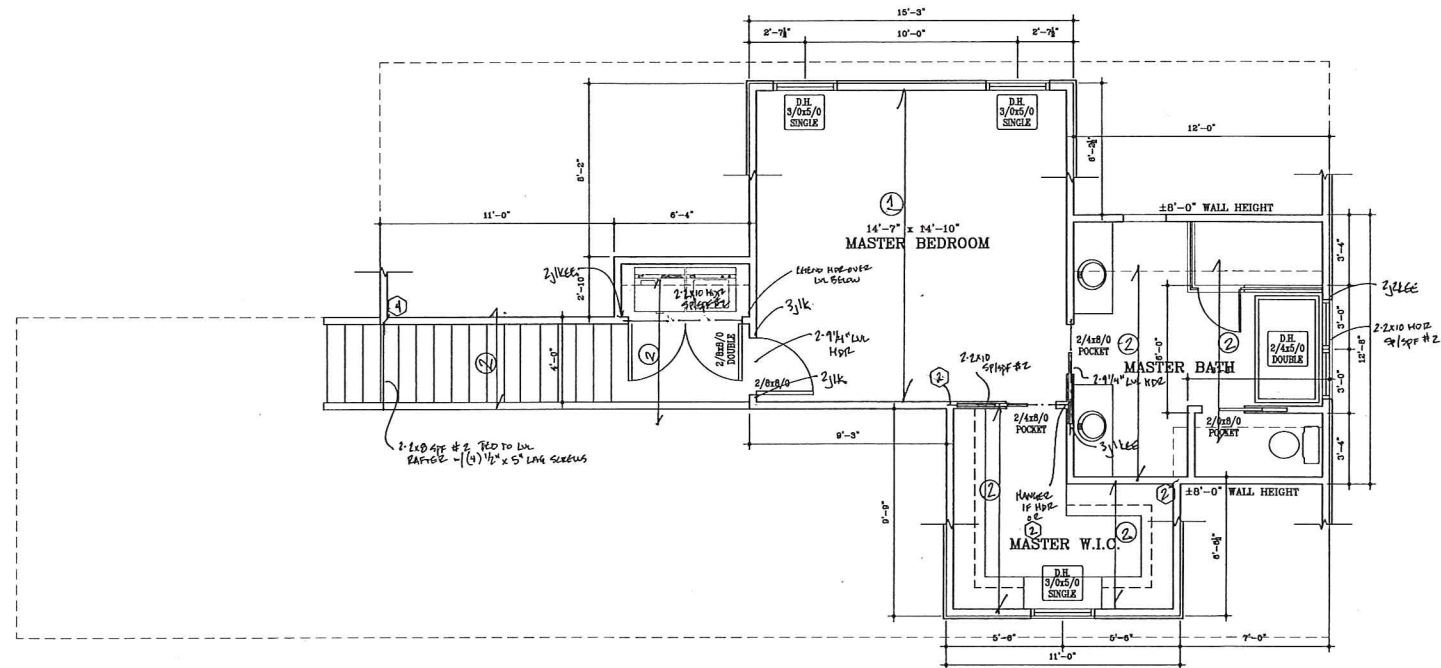
- 2ND FLOOR CEILING FRAMING NOTES:**
- ALL EXTERIOR WALLS TO BE SHEATHED w/ 5/8" OSB ATTACHED TO FRAMING w/ 8d NAILS AT 8" O.C. EDGE AND 12" O.C. FIELD. PROVIDE BACKING AT ALL PANEL SPACES.
  - ALL INT./EXT. LOAD BEARING HEADERS TO BE 2-2X8 U.L.G. w/ (1) JACK AT EACH END U.L.G.
  - ALL EXTERIOR HEADERS TO HAVE (1) KING PER EVERY 3 FEET OF OPENING @ EACH END.
  - AT C/P LINES, CEILING JOISTS TO BE NAILED TO RAFTERS w/ (8)16d NAILS U.L.G.
- (K) = NUMBER OF STUDS. STUDS TO BE SAME SIZE AS ASSOCIATED WALL FRAMING STUDS.  
 \* SEE E.C. = # of Jack studs and # of King studs at each end of header.  
 (1) = 2x8 (SFF #2) CEILING JOISTS @ 16" O.C. U.L.G.  
 (2) = 2x8 (SFF #2) @ 16" O.C. U.L.G.

NOTE: THE WALL BRACING FOR THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE HEIGHT OF THE 3008 BOND.

TYPICAL HANGERS	
MEMBER	HANGERS
2x8	LU528
2x10	LU510
2x12	LU510
(2) 2x8	HU528-2
(2) 2x10	HU510-2
(2) 2x12	HU512-2
(3) 2x8	LU528-3
(3) 2x10	LU510-3
(3) 2x12	LU510-3
(2) 2" / (2) 1 1/2" LVL	HU5410
(2) 1 1/2" / (2) 1 1/2" / (2) 1 1/2" LVL	HU5414
(3) 2" LVL	HU5550/15
(2) 1 1/2" LVL	HU5550/15
(2) 1 1/2" / (3) 1 1/2" / (2) 1 1/2" LVL	HU5550/14
(4) 2" LVL	HU5725/10
(4) 1 1/2" LVL	HU5725/12
(4) 1 1/2" / (4) 1 1/2" / (4) 1 1/2" LVL	HU5725/14

WALL STUD REQUIREMENTS	
EXT. WALL HT. (h)	STUD SIZE AND SPACING
h < 10'-0"	2x4 @ 16" (O.C.)
10'-0" < h < 11'-0"	2x4 @ 12" (O.C.)
11'-0" < h < 18'-0"	2x6 @ 16" (O.C.)
h > 18'-0"	CONSULT ENGINEER



UPPER LEVEL PLAN 1/4" = 1'-0"



MECKLENBURG COUNTY  
 CODE ENFORCEMENT

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**PROJECT # 397421**

APPROVED AS NOTED

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PLANS REVIEWED BY:  
 DANIEL T NEBUS II  
 07/05/2019



**Residential Structures, P.C.**  
 Engineering and Design  
 Charlotte: 704-332-5460  
 Charleston: 843-406-7174  
 Myrtle Beach/Florence: 704-301-9521  
 www.residentialstructurespc.com



A NEW RESIDENCE AT:  
**WILMORE #2**  
 CHARLOTTE, NC

REV.	DATE	DESCRIPTION
DESIGNER:		PRS
SCALE:		
DATE:		
SHEET:	<b>S4</b>	

APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# HDCRMA-2019-00364



PROJECT  
# 397421

APPROVED AS NOTED

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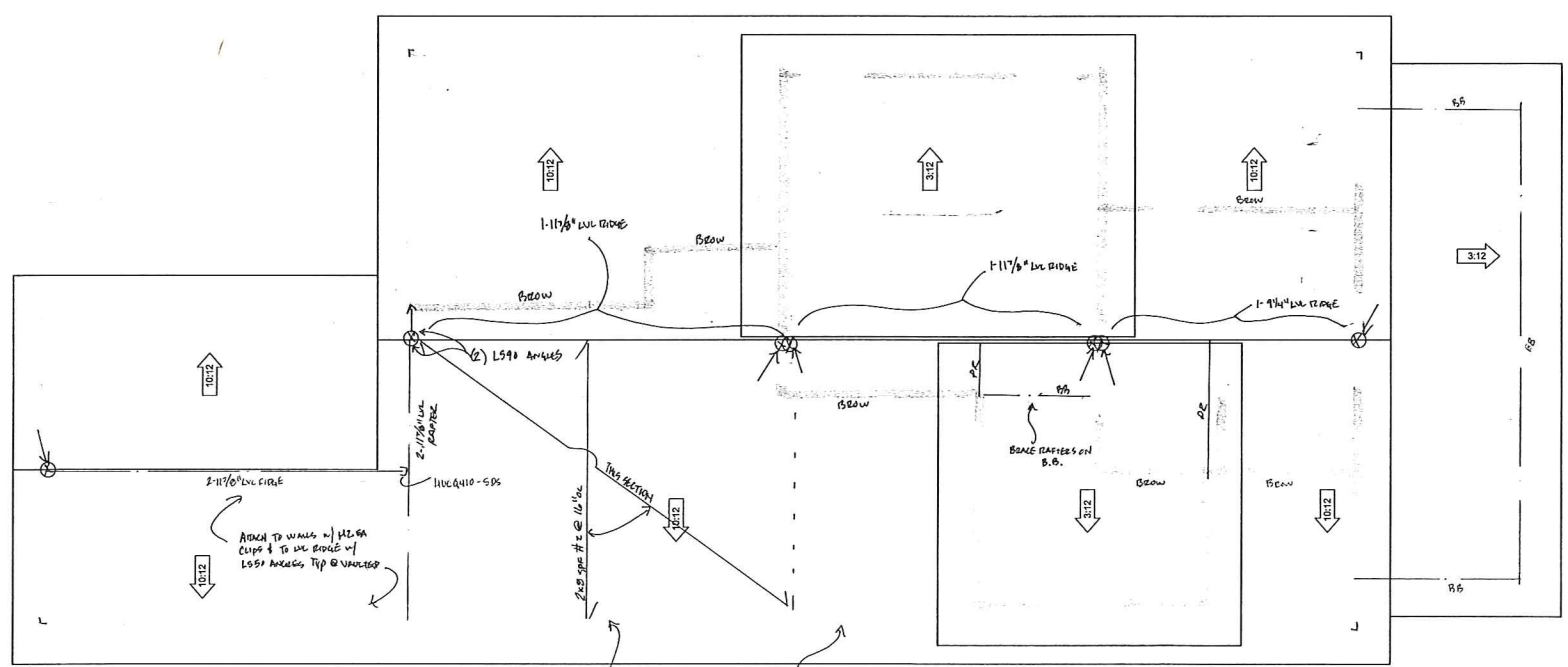
MECKLENBURG COUNTY  
CODE ENFORCEMENT

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Carolina Residential Code, local  
ordinances, and State regulations.

PLANS REVIEWED BY:  
DANIEL T NEBUS II  
07/05/2019

- ROOF NOTES
1. ALL RAFTERS TO BE 2x6's (SP #2) @ 16" O.C. U.A.O
  2. ALL RIDGES TO BE 2x10's (SP #2) U.A.O.
  3. ALL HPS AND VALLEYS TO BE 2x10's (SP #2) U.A.O
  4. D.R. = DOUBLE RAFTER
  5. T.R. = TRIPLE RAFTER
  6. R.B. = RAFTER BRACE (1-2x6)
  7. S.B. = BEAM BRIDGE
- ☒ = AREA TO BE OVERFRAMED
- ☒ = ROOF BRACE POINT AND BRACE TO POINT
- ☒ = BRACE ROOF ON WALL
- ① = NUMBER OF STUDS. STUDS TO BE SAME SIZE AS ASSOCIATED WALL FRAMING STUDS
- ROOF 2.2 PROVIDE 2 LAYERS UNDERLAYMENT ON ROOF WITH LESS THAN 4:12 SLOPE UP TO 4:12 SLOPE WHERE ASPHALT SHINGLES ARE USED

R905.2.2 PROVIDE 2  
LAYERS UNDERLAYMENT  
ON ROOF WITH LESS THAN  
4:12 PITCH WHERE  
ASPHALT SHINGLES ARE  
USED



ROOF PLAN

- ATTACH ALL RAFTERS TO LVL RIDGE w/ L590 ANCHORS TYP
- ALL RAFTERS ARE CONTINUOUS FROM EXTERIOR BEARING TO LVL RIDGE TYP

1/4" = 1'-0"



Residential Structures, P.C.

Engineering and Design  
Charlotte: 704-332-5460  
Charlotte: 843-406-7174  
Myrtle Beach/Florence: 704-301-9521  
www.residentialstructurespc.com



RESIDENTIAL STRUCTURES, P.C.  
2410 N. Davidson St.  
Charlotte, NC 28203  
Seal For Structural Only

A NEW RESIDENCE AT:  
WILMORE #2  
CHARLOTTE, NC

REV. DATE	DESCRIPTION
DESIGNER:	PRS
SCALE:	
DATE:	
SHEET:	
S5	



**397421 ALLEN**

**APPROVED AS NOTED**

REVISED SQUARE FOOTAGE ON BUILDING PERMIT APPLICATION / HEATED IS 2062 SF FOR FIRST & SECOND FLOOR / UNHEATED IS 185 SF FRONT PORCH / DECK 112 SF //

R308.4 PROVIDE TEMPERED GLAZING IN THE WINDOW LESS THAN 60 INCHES FROM THE TUB OR SHOWER AND LESS THAN 60 INCHES ABOVE THE FLOOR //

R311.7.8 PROVIDE HANDRAIL ON STAIRS WITH 4 OR MORE RISERS ON STAIRS //

N1102.1 PROVIDE THE INSULATION FOR ALL HEATED AREAS R38 OR R30CI FOR CEILING, R19 FLOORS, R15 OR R13 CAVITY PLUS R2.5 CONTINUOUS FOR WALLS //

R408.8 PROVIDE CRAWL SPACE ACCESS MINIMUM SIZE 18 INCHES X 24 INCHES //

R408.1.2 PROVIDE FOUNDATION VENTS WITHIN 3 FEET OF EACH CORNER //

R408.2 PROVIDE MIN 6 MIL POLY VAPOR BARRIER IN THE CRAWL SPACE //

R905.2.2 PROVIDE 2 LAYERS UNDERLAYMENT ON ROOF WITH LESS THAN 4:12 PITCH WHERE ASPHALT SHINGLES ARE USED

DANIEL NEBUS AT 704 249 6423

OR [V-DANIEL.NEBUS@MECKLENBURGCOUNTYNC.GOV](mailto:V-DANIEL.NEBUS@MECKLENBURGCOUNTYNC.GOV) TO DISCUSS ANY REDLINES

1822 Wickford - July 2019

UPDATED ITEMS FOR LOT 2

1. **TREE SAVE** – attached is a letter from Barry Gemberling (Arboguard) in regard to his recommendations on how to keep the LOT 4 (Willow Oak) tree safe prior and during construction.
2. **MIRATEC** – to be installed on all columns, corners and fascia with corner boards being 5.5 inches
3. **OPEN TAILS / SOFFITS** – roof to extend 24 inches at right angle to siding, with  $\frac{3}{4}$  v-groove bead board and 2x8" rafters with bed mold installed base
4. **WINDOWS** – 4" wide non-tapered trim with  $\frac{7}{8}$  putty glaze, removed brick casing



#3 – Open Tail – 24" with bead board & 2x8" rafters

#4 – Window Trim – non-tapered 4"

#1 – Tree Save Letter for the Sycamore Tree

#2 – Miratec – Columns, Fascia, and Corners

APPROVED  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness

HDQMA-2019-00364

1822 Wickford  
STREETSCAPE - July 2019

UPDATED - LOT 2 added columns from ceiling to floor on the front porch



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Charlotte  
Historic District  
Commission

Certificate of Approval

LOT 1  
# HDCRMA-2019-00364

LOT 4

LOT 3

LOT 2



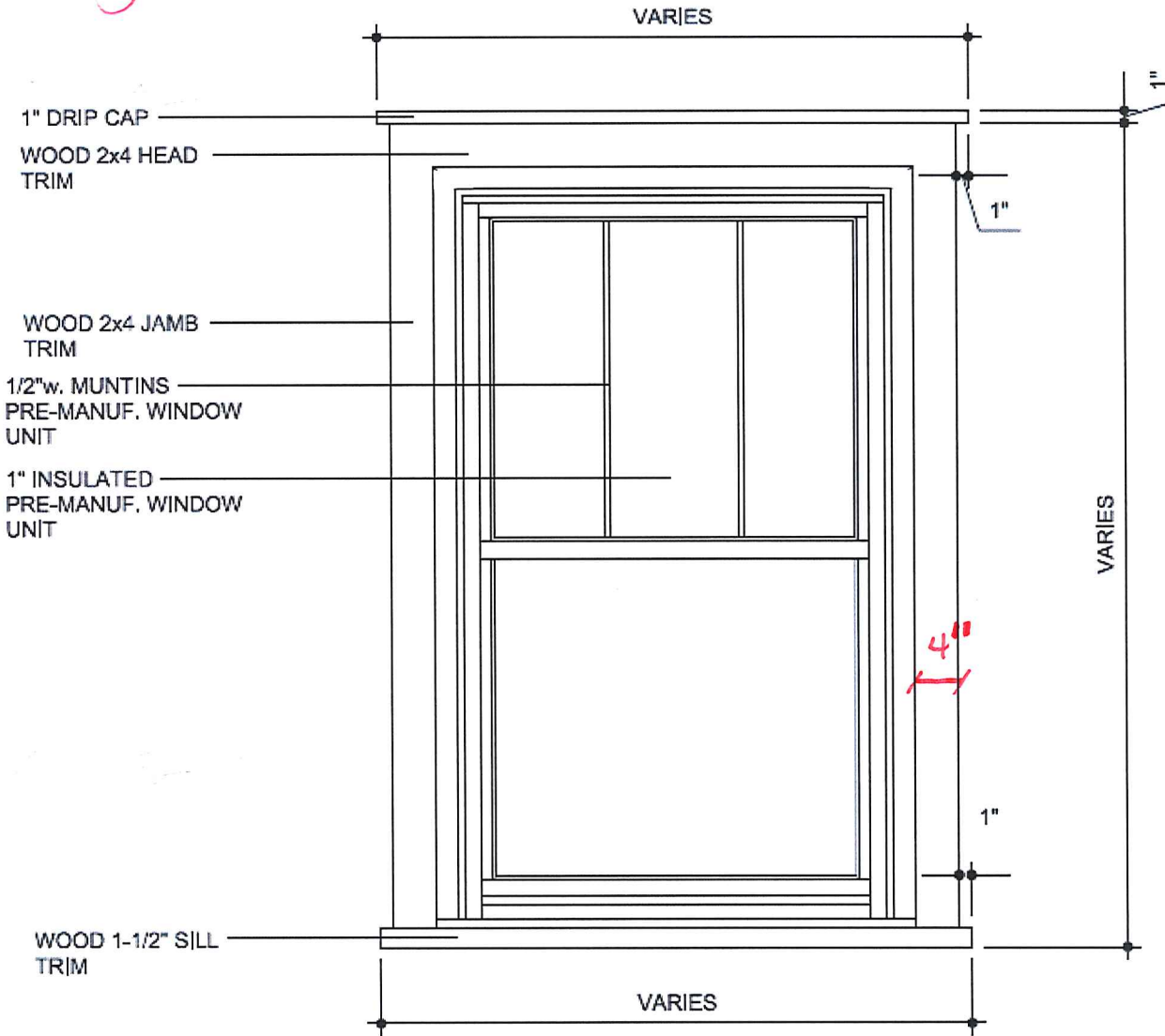
PREVIOUS



1822 Wickford

WINDOW DETAIL – UPDATED

July 2019



- use casing/trim appropriate to wood Siding
- 4" wide non-tapered trim
- 7/8" putty glaze
- double hung wood window
- 3-over-1 simulated true divided light



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Historic District  
Commission

Certificate of Appropriateness

HDCRMA-2019-00364

1822 Wickford

**SOFFIT DETAIL – UPDATED OPEN TAIL**

July 2019

30 YR. ARCHITECTURAL SHINGLES o/  
1 LAYER 15# FELT o/  
7/16" EXTERIOR OSB ROOF SHEATHING  
o/ 2x FRAMING AT 16" o.c.

AT PITCHES LESS THAN 4:12  
2 LAYERS 15# FELT TO BE USED

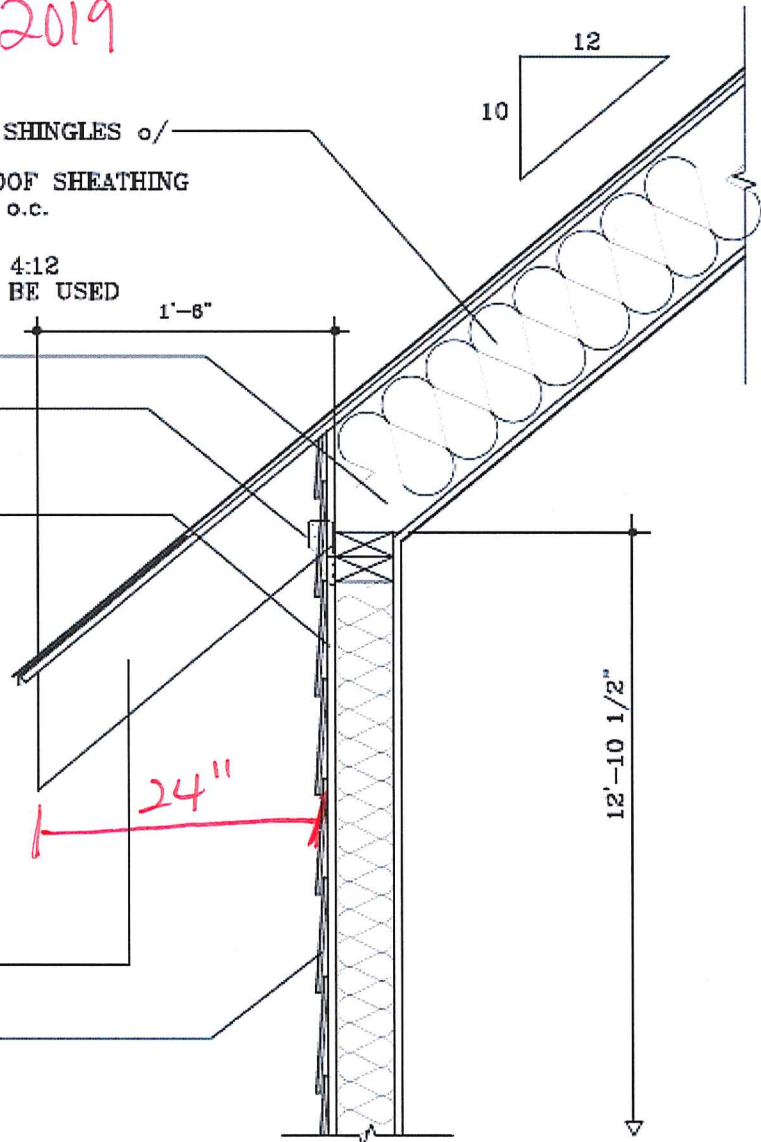
R-30 INSULATION

WIND/UPLIFT ANCHORS  
SIMPSON H2.5A (TYP.)

7/16" EXTERIOR GRADE  
PLYWOOD SHEATHING

EXPOSED TAIL

GERMAN SIDING



• roof overhang to be  
24" - measured at a  
right angle to siding

• 7 1/4" barge rafters  
with bed mold base



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Charlotte  
Historic District  
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HDCRMA - 2019-00364

1822 Wickford

PORCH RAILING & COLUMN DETAIL

July 2019

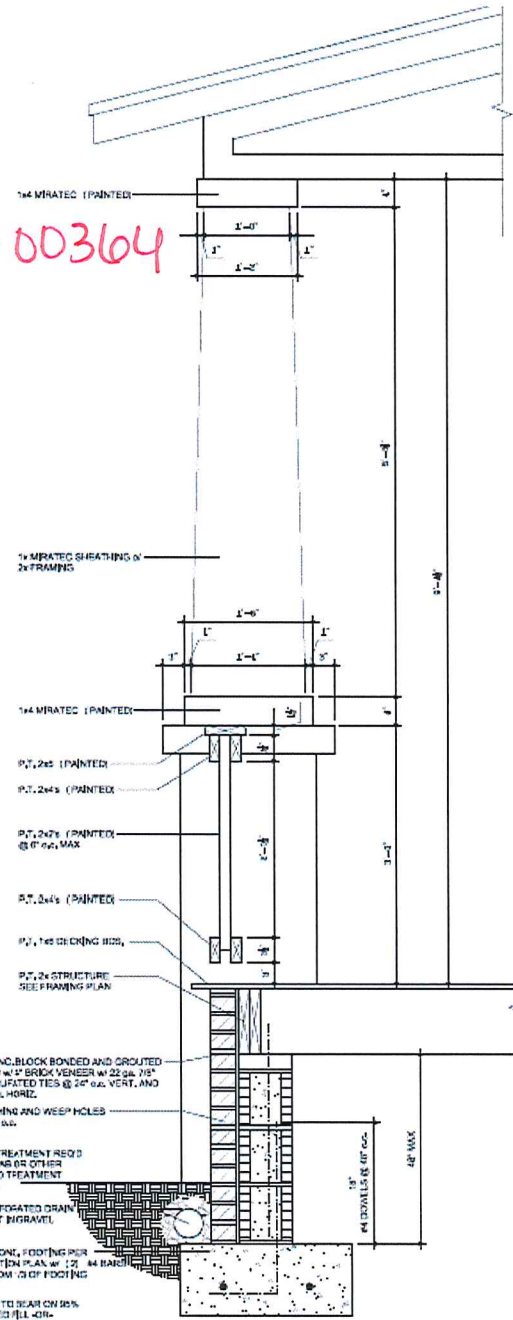
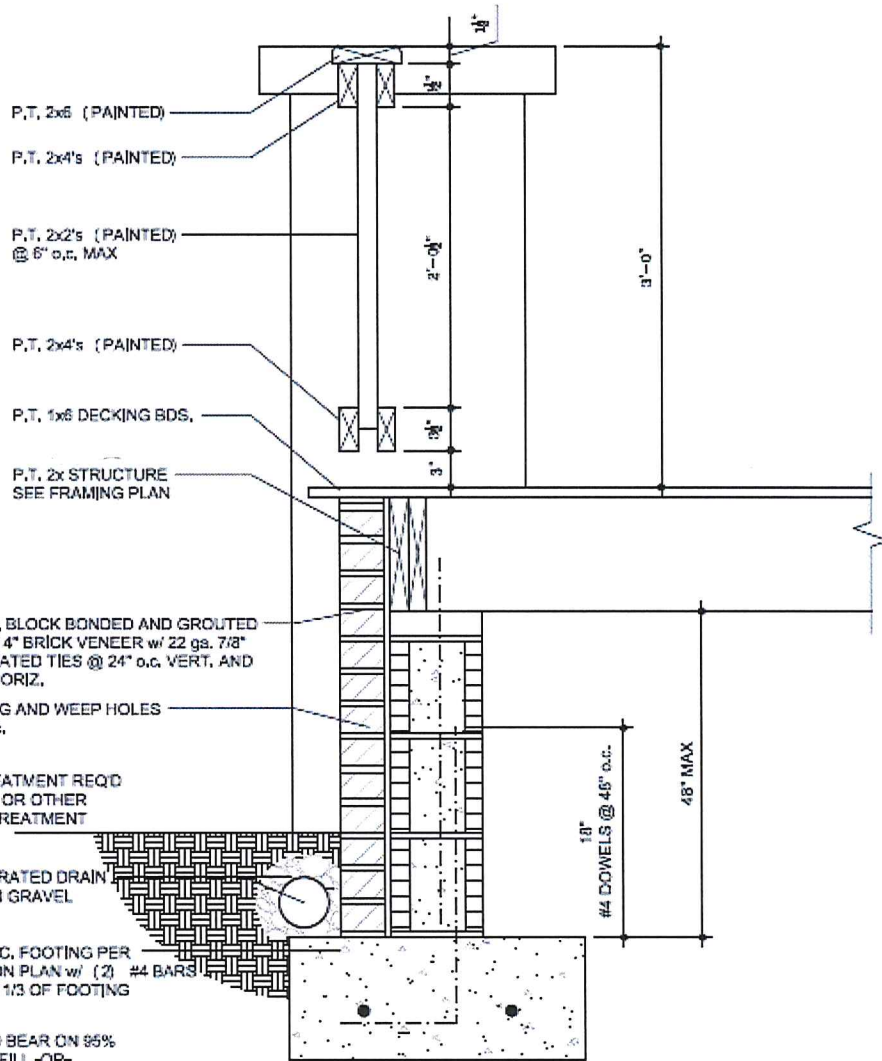


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Historic District  
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HDCRMA-2019-00364





1822 Wickford  
STREET SURVEYS - July 2019



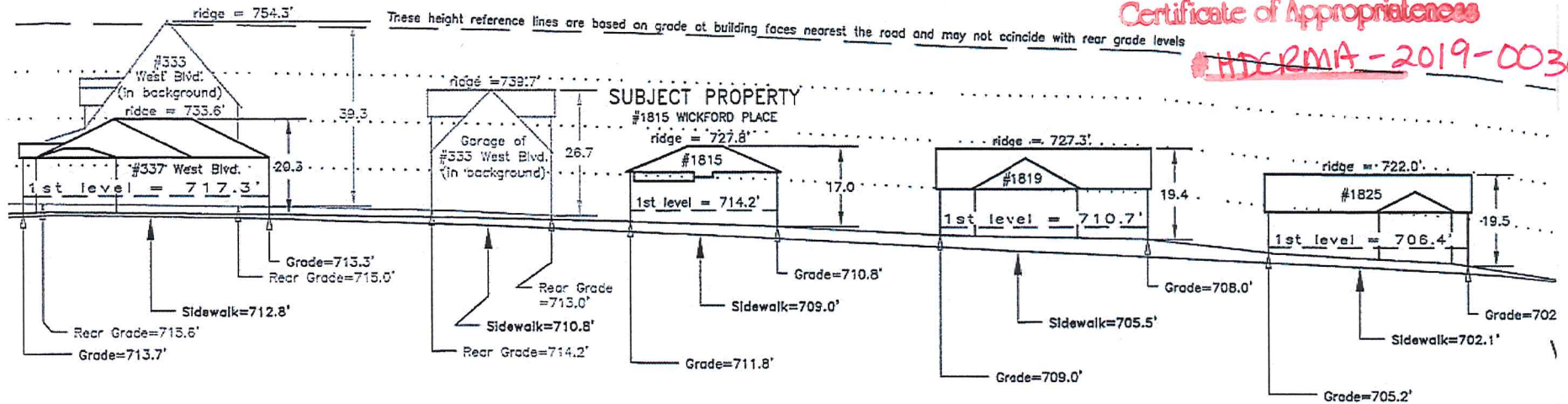
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Charlotte  
Historic District  
Commission

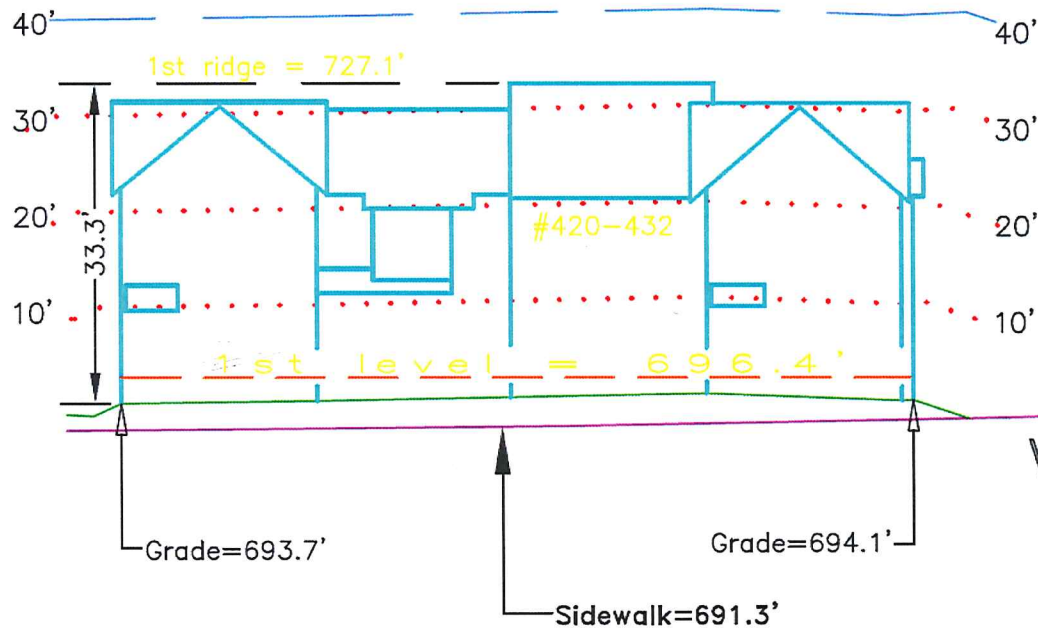
Certificate of Appropriateness

HDCRMA-2019-00364

Wickford Place (across the Street – from West Blvd. to Worthington)



Worthington Ave (Wickford Place)

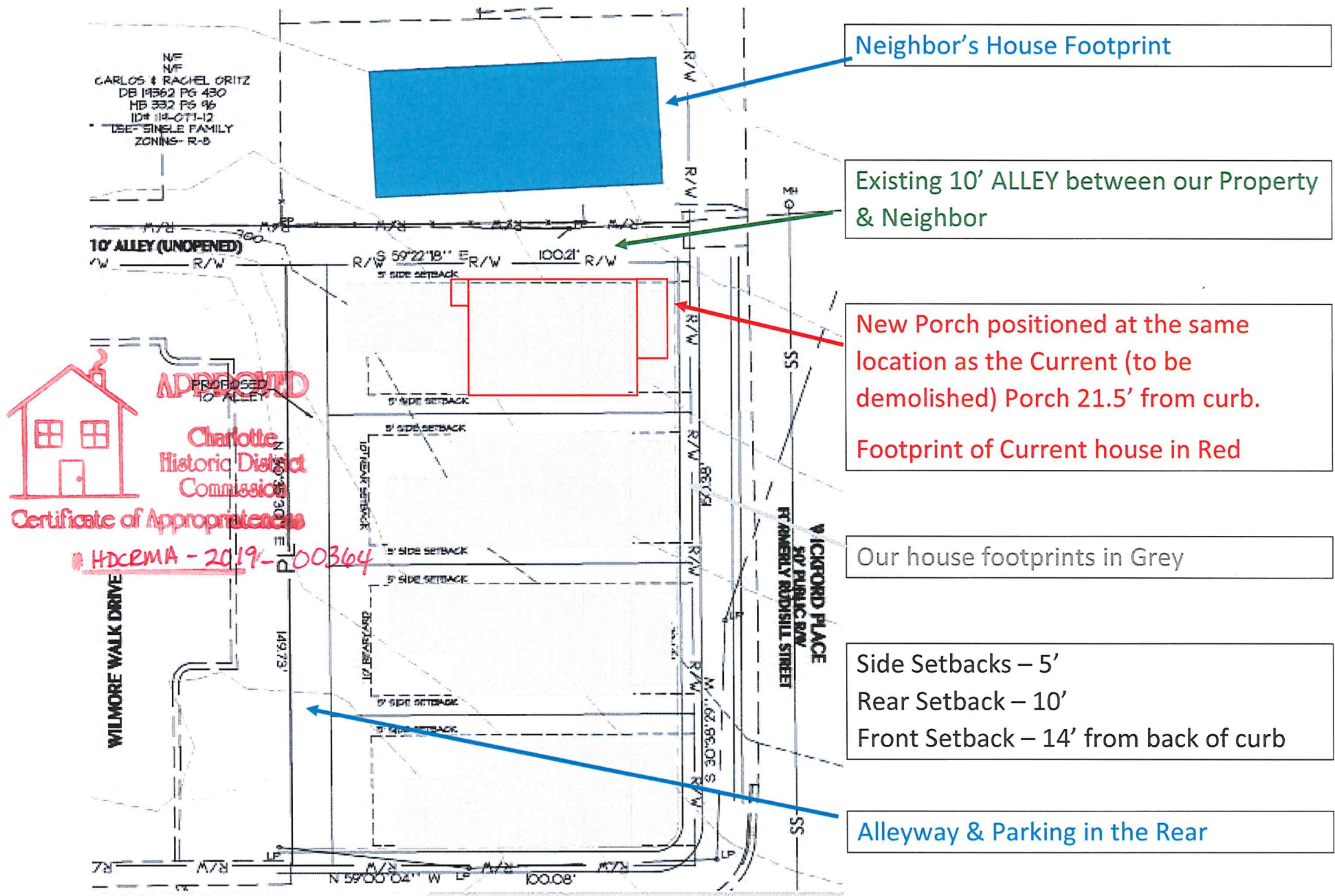


1816 Wickford Place

LOT #	Roofline	Elevation to Grade
<del>1</del>	<del>27' 7.25"</del>	<del>730.3'</del>
2	23' 11.5"	728.6'
<del>3</del>	<del>27' 7.25"</del>	<del>730.8'</del>
<del>4</del>	<del>23' 11.5"</del>	<del>724.8'</del>

1822 Wickford - July 2019

SITE PLAN ZOOM-IN



Neighbor's House Footprint

Existing 10' ALLEY between our Property & Neighbor

New Porch positioned at the same location as the Current (to be demolished) Porch 21.5' from curb. Footprint of Current house in Red

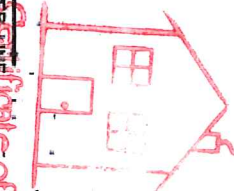
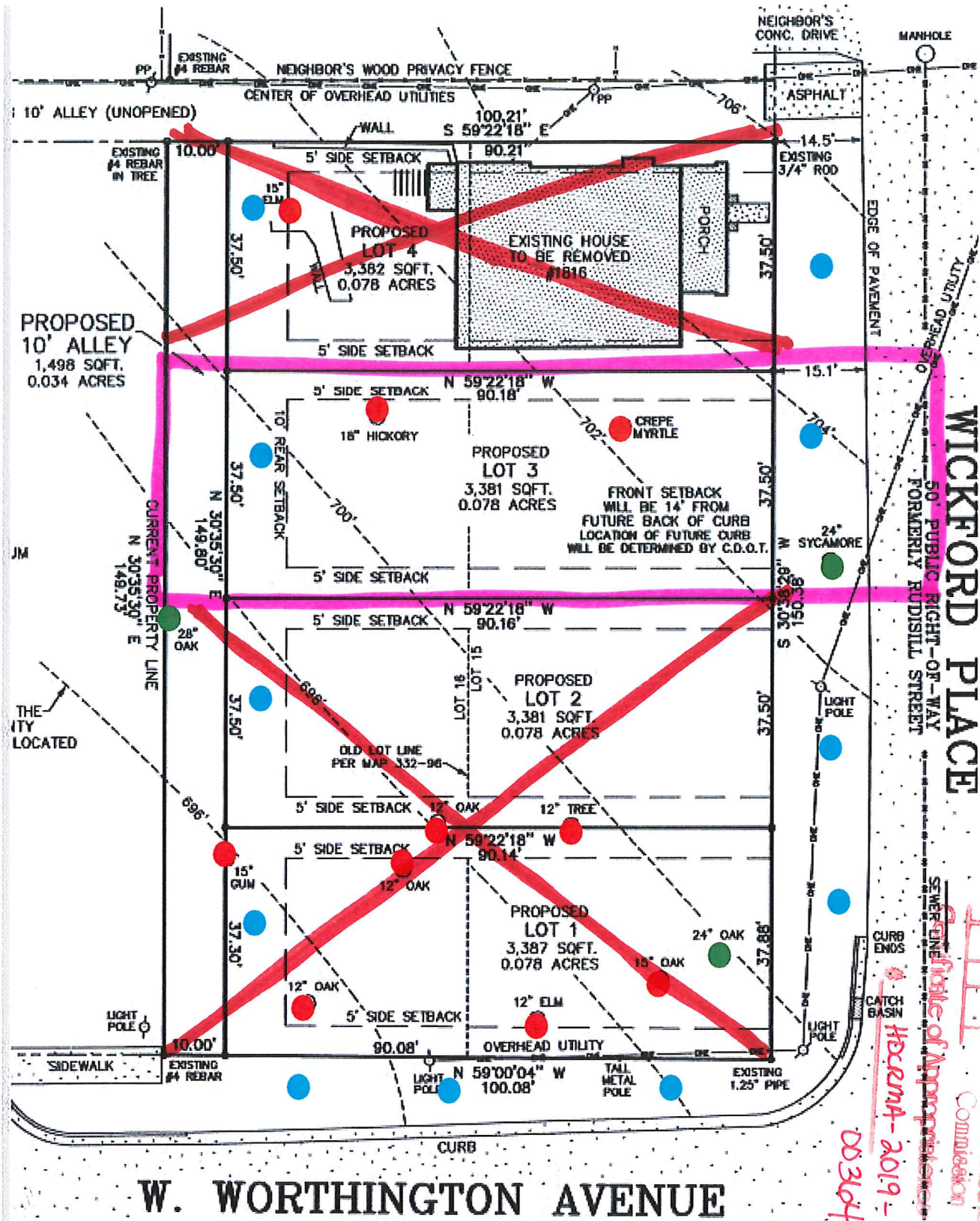
Our house footprints in Grey

Side Setbacks – 5'  
Rear Setback – 10'  
Front Setback – 14' from back of curb

Alleyway & Parking in the Rear

**APPROVED**  
**PROPOSED 10' ALLEY**  
**Charlotte Historic District Commission**  
**Certificate of Appropriateness**  
 # HDCEMA - 2019 - 00364

# 1822 Wickford - Tree Plan - July 2019



APPROVED  
Charlotte  
Historic District  
Commission  
Herena-2019-  
00364

**KEEP**

- 24" OAK
- 28" OAK
- 24" SYCAMORE

**ADD**

- (11) Medium Size Oak Trees

**REMOVED**

- (5) Oak
- (1) Crepe Myrtle
- (1) Gum
- (1) Hickory
- (1) Elm

1822 Wickford - July 2019



The Tree Specialists that find Solutions Naturally®

FROM: Arboguard Tree Specialists  
PO Box 26767  
Charlotte, NC 28221

FOR: RCMD, LLC  
Craig Calcasola  
11050 Dundarrach Lane  
Charlotte, NC 28277

SUBJECT: **1816 Wickford Place, Charlotte, NC 28203 – SYCAMORE -lot 2**

Dear Mr. Calcasola:

Thank you for this opportunity.

As per your request; we visited the property at 1816 Wickford Place, Charlotte, NC 28203 to examine 2 trees you specified and, based on this; submit the following observations, discussion and recommendations are in reference to the **Sycamore** (located on Wickford).

Large **Sycamore** closest to the next residence on Wickford Place; currently in fair to good condition, if the intent is to preserve this tree, the following procedures must be performed –

1. Soil injection therapy treatment with our organic material, same as above, once each in spring, summer and fall - \$250 per treatment, total \$750 for all 3
2. Trunk insecticide and fungicide treatments, same as above, once each in spring, summer and fall - \$75 per treatment, total \$225 for all 3
3. Trunk injection with systemic, long residual fungicide to prevent Sycamore Anthracnose in spring - \$275
4. Complete and thorough pruning to provide crown cleaning for dead limbs, plus selective thinning of the extremities to reduce weight - \$475
5. Erect barricade fencing beneath the drip-line, same as above - \$550
6. Distribute a 4-6 inch layer of organic bark mulch beneath the canopy from drip-line to drip-line to protect the root zone areas - \$450
7. Visit once per month during the construction project, same as above - \$75
8. Re-visit to re-examine in Late Fall 2017, same as above – NO CHARGE

Sincerely,

Barry Gemberling  
ISA Certified Arborist, ASCA Consulting Arborist  
Senior Corporate Arborist – The Carolinas  
Vice President & Branch Manager  
Arboguard Tree Specialists  
704-578-5662

